

Cordillera Valley Club

Design Review Board

Meeting Agenda

Date: May 2, 2025

Time: 9:00 am

CVC DRB Members:

Michael Current

Steve McKeever

Jeff Townsend

Bobby Ladd

Location:

Via Zoom

Project Reviews (11:00 am)

Rubin Residence - Addition and Deviation to an Existing Residence

322 Legacy Trail / F9 L11

Owner: Legacy CVC LLC (Alan Rubin)

Architect: Jeff Manley

Sierra Valley Cl **ign Review Boa** *aff Memorandum*

Owner: Legacy CVC LLC (Alan Rubin)
Address: 322 Legacy Trail
Legal Address: F9 L11
Architect: Jeff Manley
Staff Contact: Allison Kent, AICP
DRB Hearing #1: March 26, 2025
DRB Hearing #2: May 2, 2025

Project Description

- The applicant is proposing the addition 615 sq. ft. and deck expansion of 750 sq. ft.
- The proposed addition is 218 sq. ft. on the lower level and 199 sq. ft. on the main level.
- The addition requires a deviation for roof overhang outside the building envelope.
- There are additional changes to the home, including windows, garage doors, deck rails, etc. Additionally, the applicant is proposing to replace the cedar shake roof with the Davinci slate product.



DEVIATION AND ADDITION REVIEW - May 2, 2025

Project Review

A. Architecture Comments

1. Based on the DRB's input from the previous meeting, the applicant has made the following changes:
 1. Created variation along the edge of the deck to reduce the boxy mass
 2. The stone columns have been tucked under the deck
 3. An aspen tree has been added on the west side and created a more robust landscape plan.
2. At the previous meeting, the DRB stated that the number of columns for the deck needed to be reduced. Staff believes that the variation along the edge of the deck is helpful, but the number of columns remains a concern. The DRB should provide input on the deck design.
3. Generally, staff believes all other proposed improvements are consistent with the Design Guidelines.

B. Site Plan and Landscape Plan Comments

1. The DRB agreed at the previous meeting that the issues related to the improvements completed by the previous owner without CVC DRB approval could be considered as a separate matter so the new owner can figure out how to appropriately deal with the issue. Staff believes that a condition of approval that prior to the compliance deposit related to the addition and remodel of this owner will not be refunded until the issue is resolved.
2. The applicant is requesting a Deviation from the Design Guidelines to allow for the roof overhang outside the building environment. In general, the scope of the roof overhang encroachment outside the building envelope are similar to others recently approved by the DRB. The DRB must make the following findings to approve a deviation:
 - a) The proposed encroachment does not affect views from surrounding homesites;
 - b) The proposed encroachment does not substantially reduce the distance between homesites on lots;
 - c) The proposed encroachment allows for a more sensitive design solution by minimizing site grading, the loss of mature vegetation, and/or other considerations, and
 - d) The proposed encroachment will allow for a design that is consistent with the overall design philosophy and design style for the Cordillera Valley Club.

C. Adjacent Neighbor Comments

Public notice to adjacent properties was provided on March 12, 2025. Staff has heard from neighbors who are concerned about the previous impacts to landscaping and the retaining wall that was not reviewed or approved. Staff agrees that there are visual and

potentially stability issues related to the retaining wall. Neighbors were also concerned about the deck expansion and the impacts to landscaping.

D. Staff Recommendation

Staff recommends approval of the deviation request and addition to the Rubin Residence, subject to the following conditions:

1. Prior to the return of the compliance deposit for this project, the applicant shall address the improvements, especially the retaining wall and site disturbance within the gully completed by the prior owner without CVC DRB approval.
2. The compliance deposit for this application, in addition to the compliance deposit already provided by the prior owner, shall be \$10,000.
3. The applicant shall address all comments of the staff memorandum and the DRB.
4. General Condition: Compliance with the CVC Design Guidelines and process is not a substitute for compliance with Eagle County regulations, State regulations, or Federal regulations. Additional permits and approvals may be required by these agencies prior to commencing any work on the property. The property owner and its agents are responsible for ensuring compliance with all local, state, and federal regulations.

DEVIATION AND ADDITION REVIEW - March 26, 2025

Project Review

A. Architecture Comments

1. Due to the size of the proposed deck and the proximity to the property line and ravine below, the impact of the deck expansion is dramatic. The new stone columns are 14 ft. tall. The Design Guidelines state: *“Balconies and above grade decks should be designed within the mass of the building or as an element of the building structure supported either by angled braces, by building mass below, or by substantial building elements such as stone columns that visibly tie the deck to the ground. In no case shall projecting decks or balconies be supported by narrow posts or columns. Projected decks on the downhill side of the building shall be tied into the existing grade, helping integrate them with the natural grade of the site. Support columns must have stone bases with dimensions consistent with the massing of the home. The underside of balconies and above grade decks shall be finished to be compatible with the building. Consideration should be given to protecting balconies and above grade decks from snow shedding from overhead roofs.”* Staff recommends the DRB provide input on the proposed deck expansion.
2. Exterior light fixtures spec sheets shall be provided for review. Light fixtures are required to be dark-sky compliant.

B. Site Plan and Landscape Plan Comments

1. Under previous ownership, this home was subject to a DRB approval in 2022, which was then submitted for Technical Plan review in 2023. The approval included a third garage bay that was outside the building envelope, which was approved by the Design Review Board. Without subsequent approval by DRB Administration, revisions to the building permit were submitted to Eagle County. The revisions converted the crawl space under the third garage bay into a lower level garage for a golf cart. A very large retaining wall was also constructed without approval. The wall exceeds 4 ft. in height, which would require an engineer's stamp. This wall was not shown on either the DRB approved plans, nor the building permit. It creates a large flat surface area to access the new golf cart garage. The previous owner never requested final inspection by DRB Administration nor did they request the \$10,000 compliance deposit to be refunded. Staff believes that the retaining wall and its impacts should be mitigated, and recommends a condition that the compliance deposit from the prior owner be used towards correcting the site grading and retaining wall to return the site to an approved and acceptable design. This will require that all appropriate steps outlined in the Compliance Agreement be completed including notice to withhold and use the compliance deposit to make corrective actions by the prior owner. Staff understands that the current owner was not responsible for the construction completed without approval and this is intended to off-set costs to the new owner.
2. The proposed plan does not include a full landscape plan. Due to the addition and deck expansion, a landscape plan shall be provided indicating all trees to be removed. A planting plan in accordance with the Design Guidelines shall be provided for review and approval by the Design Review Board. A landscape plan was provided

at the last minute to attempt to address some concerns, but staff believes a more robust landscape plan should be provided for review and approval by the DRB.

3. The applicant is requesting a Deviation from the Design Guidelines to allow for the roof overhang outside the building environment. In general, the scope of the roof overhang encroachment outside the building envelope are similar to others recently approved by the DRB. The DRB must make the following findings to approve a deviation:
 - e) The proposed encroachment does not affect views from surrounding homesites;
 - f) The proposed encroachment does not substantially reduce the distance between homesites on lots;
 - g) The proposed encroachment allows for a more sensitive design solution by minimizing site grading, the loss of mature vegetation, and/or other considerations, and
 - h) The proposed encroachment will allow for a design that is consistent with the overall design philosophy and design style for the Cordillera Valley Club.

C. Adjacent Neighbor Comments

Public notice to adjacent properties was provided on March 12, 2025. Staff has heard from neighbors who are concerned about the previous impacts to landscaping and the retaining wall that was not reviewed or approved. Staff agrees that there are visual and potentially stability issues related to the retaining wall. Neighbors were also concerned about the deck expansion and the impacts to landscaping.

D. Staff Recommendation

Staff recommends tabling of the deviation request and addition to the Rubin Residence, subject to the following conditions:

1. The applicant shall submit a landscaping plan reflecting existing and proposed conditions.
2. The applicant shall address all comments of the staff memorandum and the DRB.
3. General Condition: Compliance with the CVC Design Guidelines and process is not a substitute for compliance with Eagle County regulations, State regulations, or Federal regulations. Additional permits and approvals may be required by these agencies prior to commencing any work on the property. The property owner and its agents are responsible for ensuring compliance with all local, state, and federal regulations.

D. DRB Deliberation

DRB members Michael Current, Steve McKeever, and Bobby Ladd were present. Jeff Manley, Architect, was present. Alan Rubin, owner, was also present. Neighbors Tom Stoffel and Jeff Embry were present.

Jeff ran through the plans. He showed the revisions to plans. He requested that the project be broken into two parts. He showed opportunities to fix portions of the wall and add landscaping. He talked through construction access options.

Jeff Embry stated he was fine with allowing access to occur through his property as long as the new aspens could be avoided. He stated he was fine with the encroachment into the building envelope and asked about timing.

Tom Stoffel indicated that a large tree had been removed. He stated that he asked the previous owners many times about the wall but they were unresponsive.

Alan Rubin stated that the situation was unfortunate but that he was looking for solutions.

Bobby stated that not only were there a lot of columns, the columns are massive. He asked the architect to look at cantilevering them so that the number of them could be reduced. He had no issues with the addition or any of the other changes such as doors and windows. He stated that they needed to figure out a plan for the other area and that it was an unfortunate situation. He was ok with dealing with the issues separately.

Michael agreed with Bobby. He said the number of columns needed to be reduced. Otherwise, the addition itself looked good.

Steve agreed with Michael and Bobby. He stated his concern that the wall did not look like it was installed properly and had some concerns about it.

Motion to table to allow the applicant to address the comments.

Motion: Bobby Ladd

Second: Michael Current

Vote: 3-0 (Jeff Townsend absent)

PROPOSED DESIGN



EXISTING DESIGN



- * A Single-Family Residence ...
- * Exterior materials will all match existing materials, colors, and textures
- * addition to Main level Kitchen, Primary Suite , and Lower level Bedroom
- * Reroof the project to eliminate wood shake roofing and replace with synthetic shakes/shingles
- * All baths are to receive new finishes. See interior design package
- * Wood flooring on Main level to be replaced with new wood floor
- * New Entry door and Side lights
- * TOTAL NEW S.F. = 615 S.F.
- * TOTAL NEW DECK AREA = 750 S.F.
- * RE INSTALL STEPPING STONES ON SOUTHEAST CORNER OF HOME
- * NO LANDSCAPING AS PART OF THIS PROJECT. ONLY RESEED/RESOD DISTURBED AREAS AND REWORK IRRIGATION AS REQUIRED.

CODE SUMMARY

This project falls under the jurisdiction of:
The CVC Design Review Board and Eagle County Building Department
The 2021 International Residential Code (IRC 2021)
The 2023 National Electrical Code
Including adopted amendments

Class of Work:	Renovation/Addition, Level 2 renovation
Type of Occupancy:	R-3 (Single-Family)
Type of Construction:	Type V-b (Sprinklered)
Levels:	2-story over walk-out basement

- * Heating: evaluate existing boiler to see if additional can be added to capacity
- * Provide elec heat mat under Primary Bath floor
- * Forced Air ducted system with Air Conditioning on Main level. Maybe 2 zone units with one over Primary closet and one over Kitchen dropped ceiling. Existing wall mounted mini splits to remain within upper level and lower level bedroom. evaluate reuse of mini split removed from master to be reused.
- * Provide Solar Ready roof area when reroofing home with synthetic shingles
- * Review adding an EV charging station within garage
- * Existing TOTO toilets are to remain/ be reused
- *

Fire Dept. Notes:
Existing Smoke Detectors and Carbon Monoxide alarms must be installed in ALL DWELLING UNITS, confirm that they are installed per 2021 IFC and fire alarm installation standards.

AN AUTOMATIC FIRE-SPRINKLER SYSTEM is not part of this project. System does not exist within existing home.

THESE CONSTRUCTION DOCUMENTS INCLUDING ARCHITECTURAL SHEETS HAVE BEEN PREPARED IN RESPONSE TO THE SPECIFIC BASIC SERVICES REQUESTED BY THE OWNER CONTEMPLATING CONTINUOUS INVOLVEMENT. SELECTIONS AND DECISION MAKING BY THE GENERAL CONTRACTOR AND OWNER THROUGH COMPLETION OF CONSTRUCTION.

THESE DOCUMENTS INDICATE THE SCOPE OF ARCHITECTURAL DESIGN CONCEPTS APPROVED BY THE OWNER AND INCLUDE THE SCOPE OF WORK OF THE BUILDING, THE TYPES OF STRUCTURAL SYSTEMS AND AN OUTLINE OF THE ARCHITECTURAL AND STRUCTURAL ENGINEERING ELEMENTS OF CONSTRUCTION.

THESE CONSTRUCTION DOCUMENTS PROVIDE THE SCOPE OF SERVICES AS OUTLINED IN THE AGREEMENT FOR ARCHITECTURAL SERVICES AND THEREFORE DO NOT NECESSARILY INDICATE OR DESCRIBE ALL MATERIALS REQUIRED FOR FULL PERFORMANCE AND COMPLETION OF THE WORK.

IT IS THE UNDERSTANDING OF THE ARCHITECT AND ENGINEER THAT THE GENERAL CONTRACTOR SHALL FURNISH ALL WORK REQUIRED FOR PROPER COMPLETION OF THE WORK AND THAT THE WORK SHALL BE OF SOUND AND QUALITY CONSTRUCTION IN ACCORDANCE WITH INDUSTRY STANDARDS AND ALL MANUFACTURERS SPECIFICATIONS, INSTRUCTIONS, AND WARRANTY REQUIREMENTS.

THE CONTRACTOR, BASED ON THE FOREGOING, SHALL PREPARE FOR OWNER REVIEW A REALISTIC BUDGET WITH A LATITUDE OF PRICES BASED ON ASSUMPTIONS OF SCOPE OF WORK AND OWNER PRODUCT SELECTIONS.

CONTRACTOR'S RESPONSIBILITIES:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING CONDITIONS, CONSTRUCTION DOCUMENTS, STRUCTURAL DOCUMENTS, MUNICIPAL AND/OR COUNTY ZONING CODES AND ALL LOCAL ORDINANCES, REQUIREMENTS, AND GENERAL SPECIFICATIONS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MECHANICAL AND ELECTRICAL ENGINEERING DESIGN, SPECIFICATIONS AND DRAWINGS AS REQUIRED FOR BUILDING PERMIT AND APPROVAL BY OWNER AND ARCHITECT.

THE RUBIN RESIDENCE
322 Legacy Trail

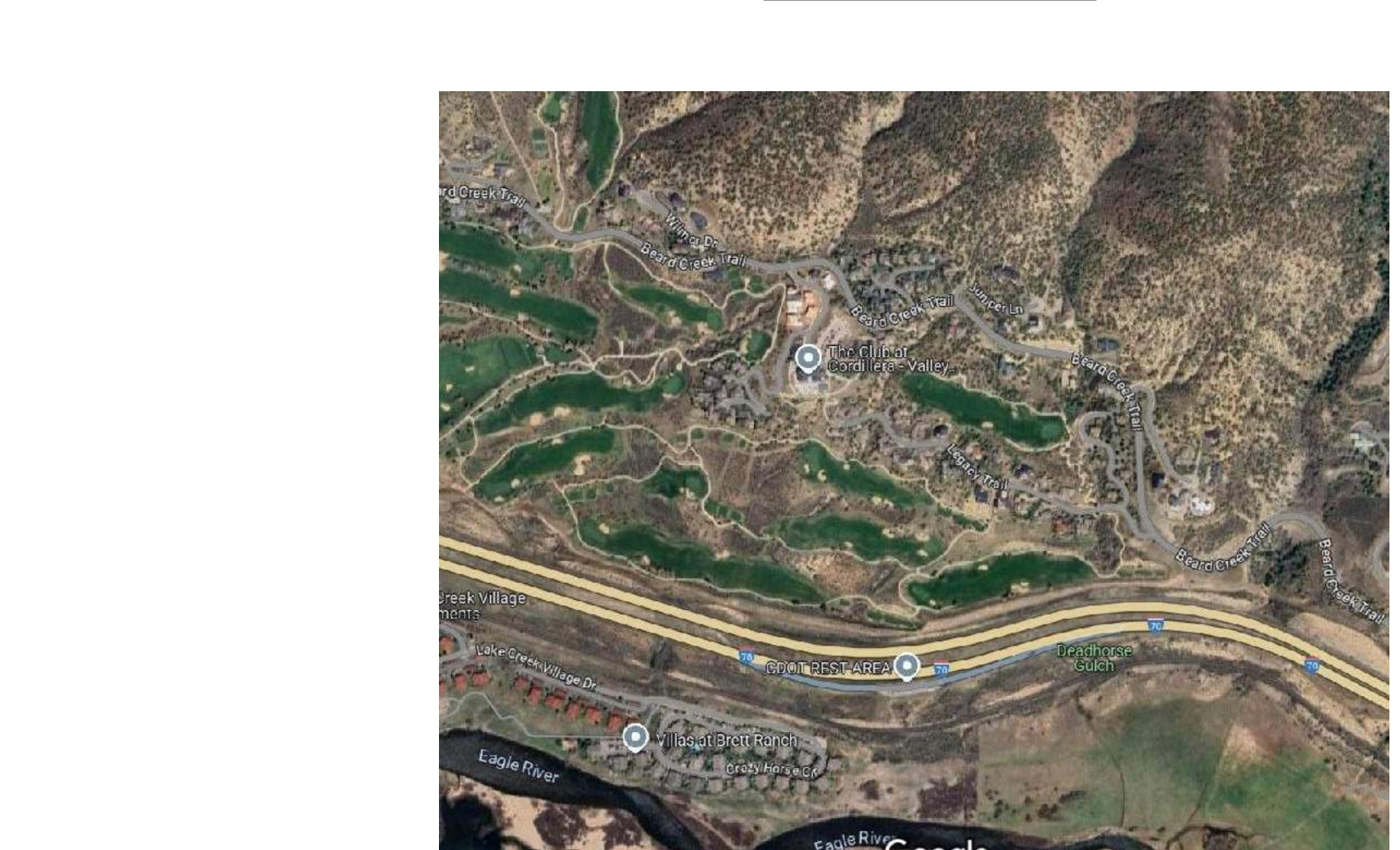
Cordillera Valley Club, Filing: 9 -
Legacy Trail - Lot: 11
Edwards, CO 81632

3-27-25

DESIGN REVIEW SET

ARCHITECTURAL SHEET LIST	
Sheet #	Sheet Name
A0.0	COVER SHEET
A2.1	LOWER LEVEL PLAN
A2.2	MAIN LEVEL PLAN
A2.3	UPPER LEVEL PLAN
A2.4	ROOF PLAN
A3.1	EXTERIOR ELEVATIONS
A3.2	EXTERIOR ELEVATIONS
A3.3	EXTERIOR ELEVATIONS
A3.4	PHOTOS OF EXISTING HOME

VICINITY MAP:



Owner: Legacy CVC LLC

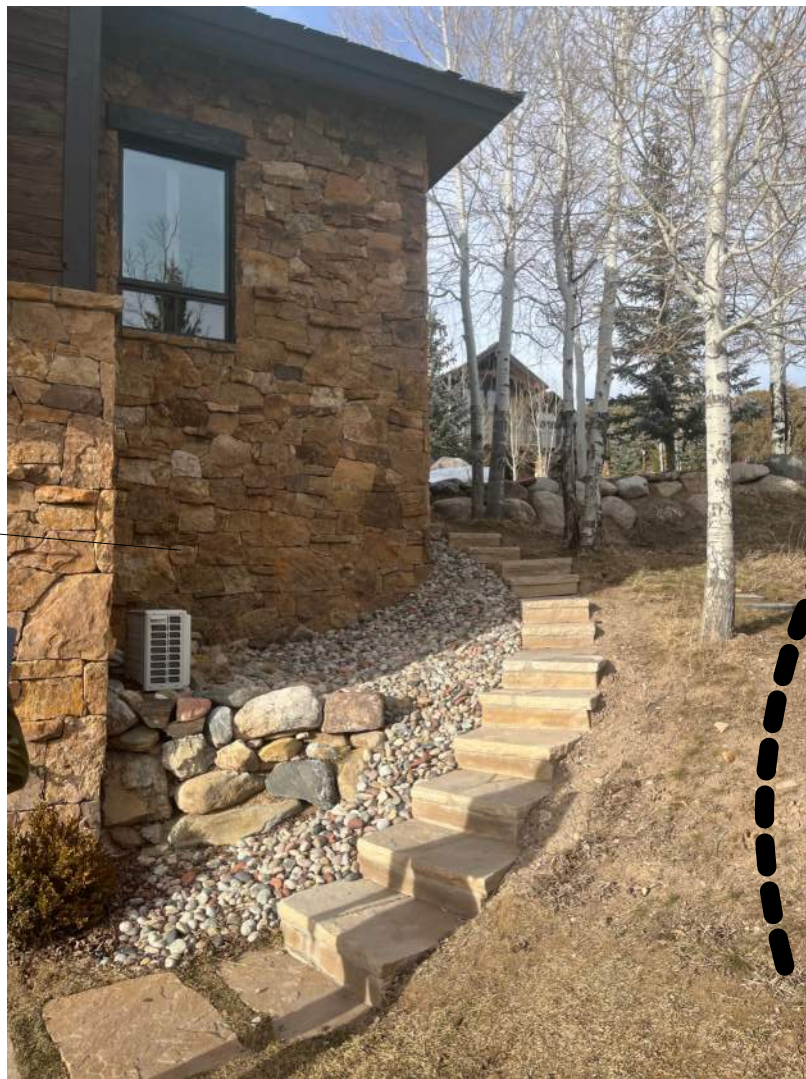
c/o Alan Rubin
Address: 3700 SW 30TH AVE
FORT LAUDERDALE, FL 33312-67
Location: 322 Legacy Trail
Cordillera Valley Club
Filling: 9 Legacy Trail - Lot: 11
Edwards, CO 81632
Parcel # 1943-314-12-011

Architect: Jeffrey P Manley, AIA
Martin Manley Architects
www.martinmanleyarchitects.com
jeff@martinmanleyarchitects.com
970-688-0326

Struct. Eng.: To be Determined

Contractor: **Bjornson Custom Builders**
Tom Bjornson
PO Box 3882 Vail, CO 81658
tom@bjornsonbuilders.com
208 818 4714





PATH OF CONSTRUCTION SITE ACCESS AS SEEN FROM BELOW



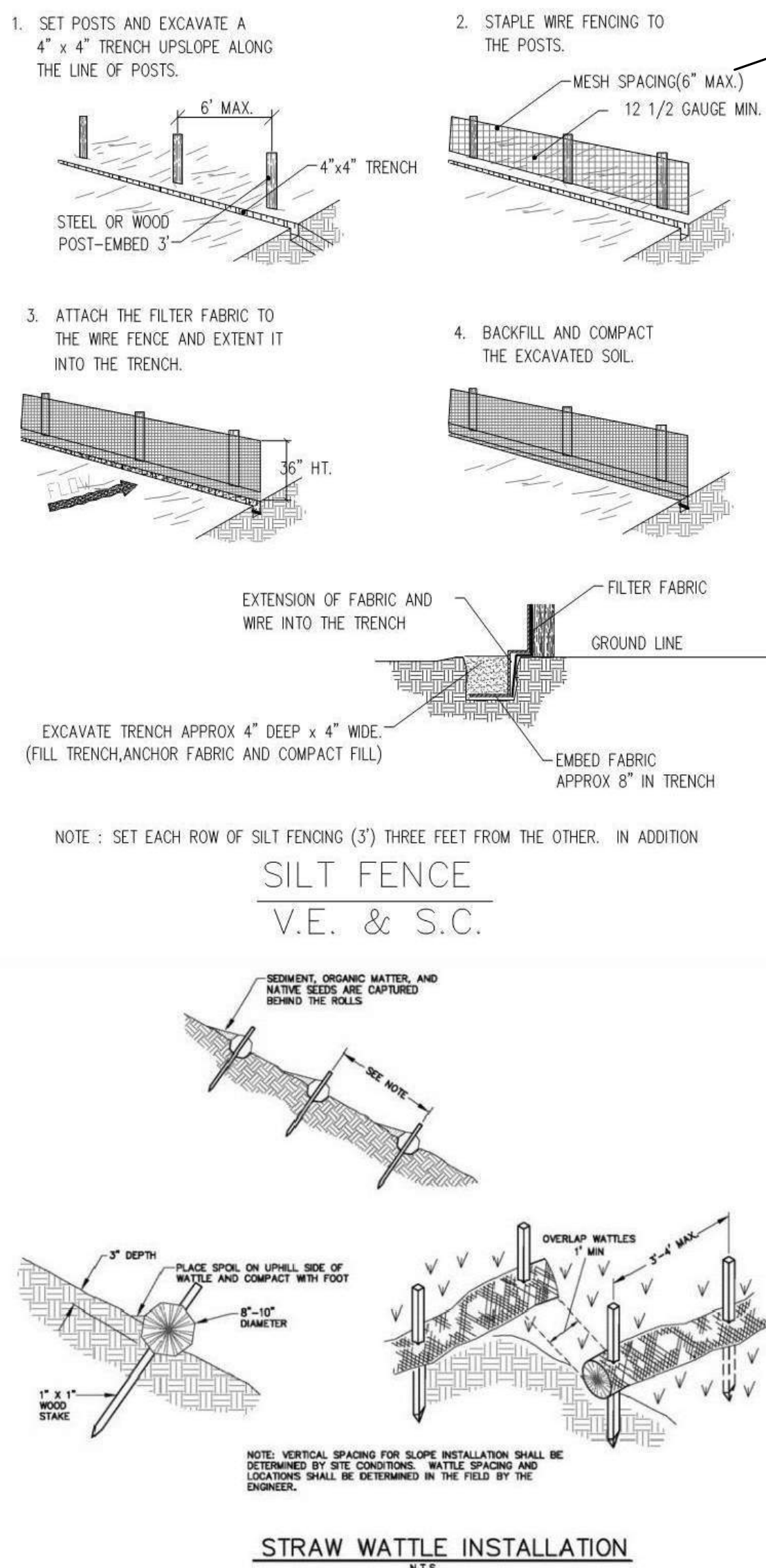
PATH OF CONSTRUCTION SITE ACCESS AS SEEN FROM CUL-DE-SAC



PATH OF CONSTRUCTION SITE ACCESS AS SEEN LOOKING ON EAST SIDE OF HOUSE

Revisions	Date
No.	Description

Consultant	Address	Phone	E-mail
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MATERIAL DELIVERY ACCESS PATH OPTION #3
(1) ADDITIONAL ASPEN WILL BE REQUIRED TO BE REMOVED IF LARGER EXCAVATION EQUIPMENT NEEDS TO USE THIS PATH
IF TREE IS REMOVED, THEN A REPLACEMENT TREE OF 3" CALIPER ASPEN OR GREATER WILL BE INSTALLED IN ITS PLACE

GREEN CONSTRUCTION FENCE WITH SILT FENCING AT BASE

NO WORK OUTSIDE OF BUILDING ENVELOPE. FENCE POSITIONED TO ALLOW FOR EQUIPMENT MOVEMENT AROUND HOUSE

THESE ELLIPSES SHOW POSITION OF EXISTING BOULDERS

**LEGACY TRAIL
50' PRIVATE RIGHT-OF-WAY**

CONSTRUCTION PARKING AT CUL-DE-SAC AS ALLOWED BY CVC CONSTRUCTION GUIDELINES
VEHICLES SHALL NOT BLOCK OR IMPEDE NEIGHBORING PROPERTIES

CONSTRUCTION SIGNAGE TO MEET CVC STANDARDS WITH PERMIT NUMBER SHOWN

1 TOILET WITHIN HOME IS TO BE USED BY WORKMAN AS CONSTRUCTION TOILET AND TO BE CLEANED WEEKLY

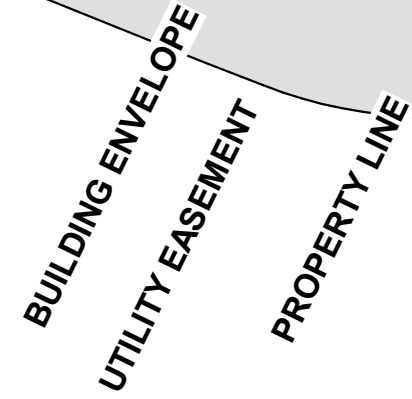
EXCAVATION EQUIPMENT ACCESS PATH OPTION #1

AGREEMENT WITH EAST NEIGHBOR TO CROSS PROPERTY IS TO BE FORMALIZED. SHOULD BE ABLE TO ACCESS WITH MINIMAL TREE/SITE DISTURBANCE. REVEG ALL DISTURBED AREAS TO BETTER THAN EXISTING CONDITIONS.

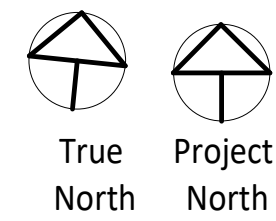
PLYWOOD SHEETING OR OTHER METHODS OF PROTECTING AND DISPERSING LOAD SHALL BE PLACED AT INGRESS AN EGRESS OF HEAVY EQUIPMENT. PROTECT EXISTING IRRIGATION VAULTS NEAR PROPERTY LINE

POSSIBLE EXCAVATION EQUIPMENT ACCESS PATH OPTION #2

ACCESS THRU GOLF COURSE CART PATH AT OFF TIME. AGREEMENT WILL NEED TO BE MADE WITH GOLF COURSE. LEAST SITE DISTURBANCE



1 FLOOR PLAN - LOWER LEVEL DEMO
1/8" = 1'-0"



- NOT FOR CONSTRUCTION

Date	3-27-25
Project number	2477
DEMO PLANS	
A2.0	

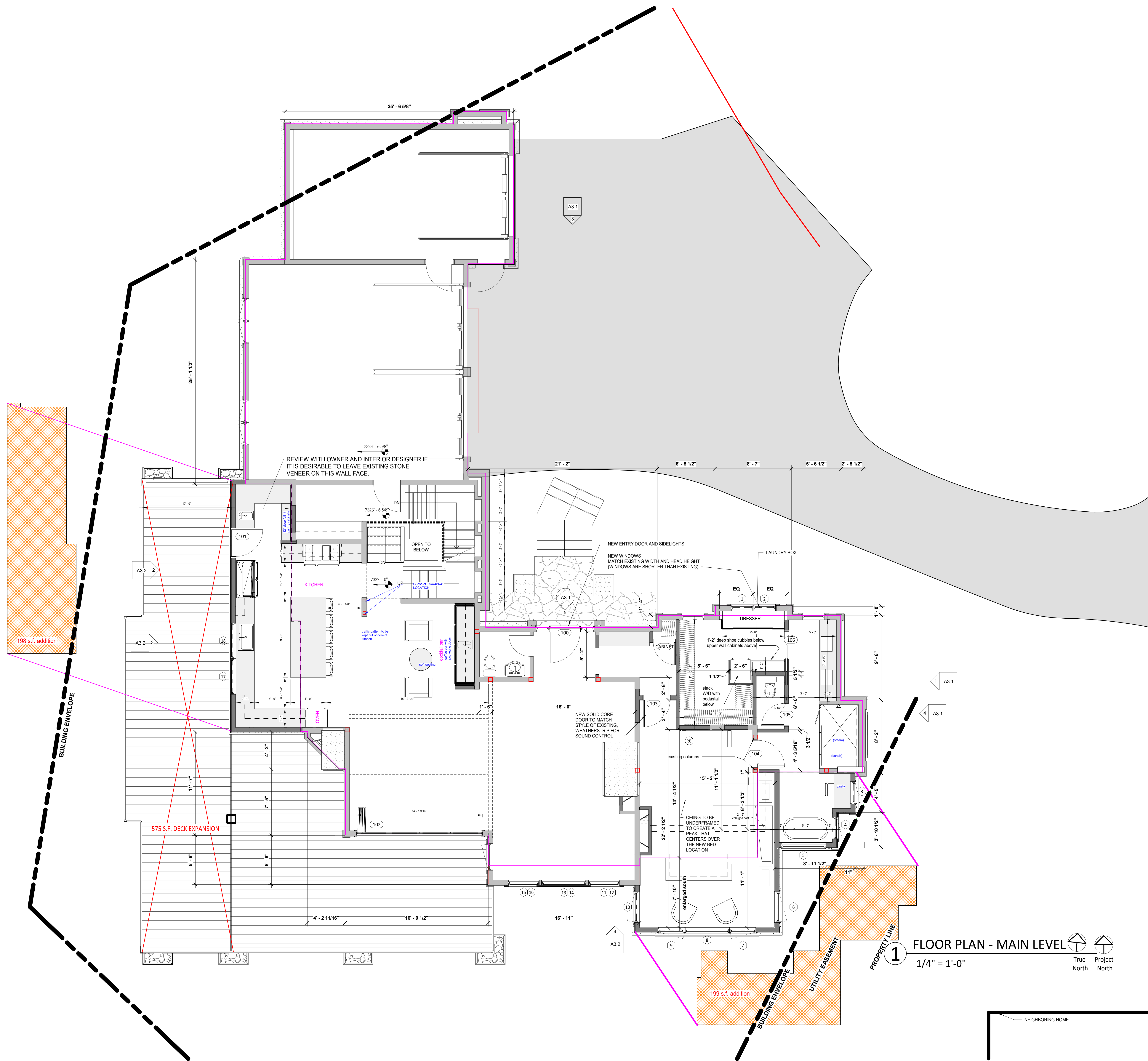
THE RUBIN RESIDENCE
322 Legacy Trail
Cordillera Valley Club, Filing: 9 - Legacy Trail - Lot: 11
Edwards, CO 81632

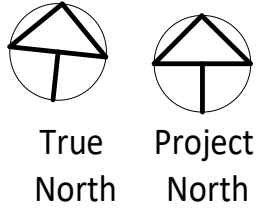
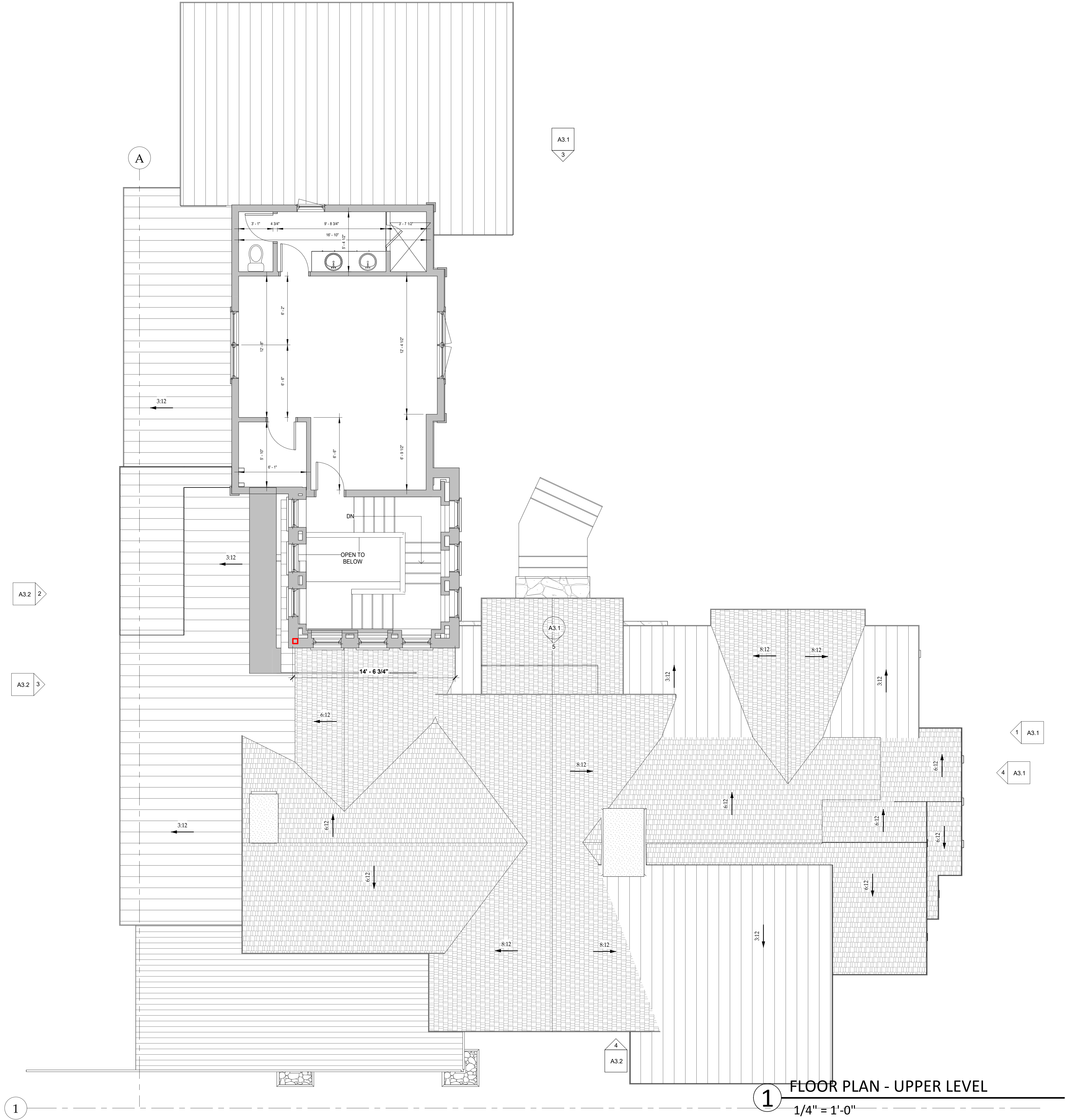
DESIGN REVIEW SET

[illegible]

NOT FOR CONSTRUCTION

Date	3-27-25
Project number	2477
MAIN LEVEL PLAN	
A2.2	





NOT FOR CONSTRUCTION

Date	3-27-25
Project number	2477
UPPER LEVEL PLAN	
A2.3	

THE RUBIN RESIDENCE
322 Legacy Trail
Cordillera Valley Club, Filing: 9 - Legacy Trail - Lot: 11
Edwards, CO 81632
DESIGN REVIEW SET

REVISIONS	
No.	Description

MARTIN MANLEY
ARCHITECTS

970.328.5151 OFFICE
PO Box 1587, Eagle, CO 81631
www.martmanleyarchitects.com

ROOFING NOTE:
DAVINCI, SINGLE WIDTH SHAKE (9"), IN CHESAPEAKE COLOR, CLASS 'A',
INSTALLED IN 10" EXPOSURE.

ALL EXISTING WOOD SHAKE ROOFING, AND FLASHING ARE TO BE REMOVED.
PROVIDE NEW SYNTHETIC ROOFING ON FULL COVERAGE WATERPROOF
MEMBRANE.

- Roof assemblies shall comply with **Class A** rating when tested in accordance with ASTM E108 or UL790
- Roof Valleys shall have valley flashing not less than 26 sheet gauge corrosive resistant metal installed over a minim 36" wide underlayment consisting of one layer of 72 pound mineral surface, nonperforated cap sheet complying with ASTM D3909 running the full length of the valley. (over the top the full coverage waterproof roof membrane)
- Protection of Combustible eaves, fascia and soffits shall be enclosed with solid material with a minimum thickness of 3/4". Exposed rafter tails shall not be permitted unless constructed of heavy timber material.

EXTEND EXISTING ROOF OVER PORCH TO COVER KITCHEN EXPANSION

REPLACE HIP ROOF OVER SHOWER WITH NEW GABLE

EXTEND EXISTING PRIMARY BEDROOM ROOF GABLE EAST TO COVER NEW FOOTPRINT OF BATH

NEW 3.12 ROOF STRUCTURE OVER PRIMARY BEDROOM EXTENSION, STANDING SEAM METAL TO MATCH EXISTING METAL ROOFING

THIS ROOF PLANE TO BE PLANNED AS SOLAR READY

EXISTING RIDGE

EXISTING RIDGE

10' UTILITY AND DRAINAGE EASEMENT

NOT FOR CONSTRUCTION

3-27-25 2477
Date Project
ROOF PLAN
A2.4

THE RUBIN RESIDENCE
322 Legacy Trail
Cordillera Valley Club, Filing: 9 - Legacy Trail - Lot: 11
Edwards, CO 81632
DESIGN REVIEW SET

MARTIN MANLEY ARCHITECTS
970.328.5151 OFFICE
PO Box 1587, Eagle, CO 81631
www.martinmanleyarchitects.com

True North
Project North

3 ROOF PLAN
1/4" = 1'-0"

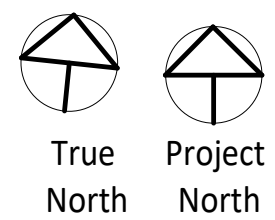
- Roof assemblies shall comply with **Class A** rating when tested in accordance with ASTM E 108 or UL790
- Roof Valleys shall have valley flashing not less than 26 sheet gauge corrosive resistant metal installed over a minimum 36" wide underlayment consisting of one layer of 72 pound mineral surface, nonperforated cap sheet complying with ASTM D3909 running the full length of the valley. (over the top full coverage waterproof roof membrane)
- Protection of Combustible eaves, fascia and soffits shall be enclosed with solid material with a minimum thickness of 3/4". Exposed rafters shall not be permitted unless constructed of heavy timber material.

THIS ROOF PLANE TO
BE PLANNED AS SOLAR
READY

REPLACE HIP ROOF OVER
SHOWER WITH NEW GABLE

EXTEND EXISTING PRIMARY
BEDROOM ROOF GABLE EAST TO
COVER NEW FOOTPRINT OF BATH

NEW 3:12 ROOF STRUCTURE OVER
PRIMARY BEDROOM EXTENSION,
STANDING SEAM METAL TO MATCH
EXISTING METAL ROOFING



3 ROOF PLAN
1/4" = 1'-0"

THE RUBIN RESIDENCE

322 Legacy Trail
Cordillera Valley Club, Filing: 9 - Legacy Trail - Lot: 11
Edwards, CO 81632

DESIGN REIEW SET

SENTE

8-27-25

2477

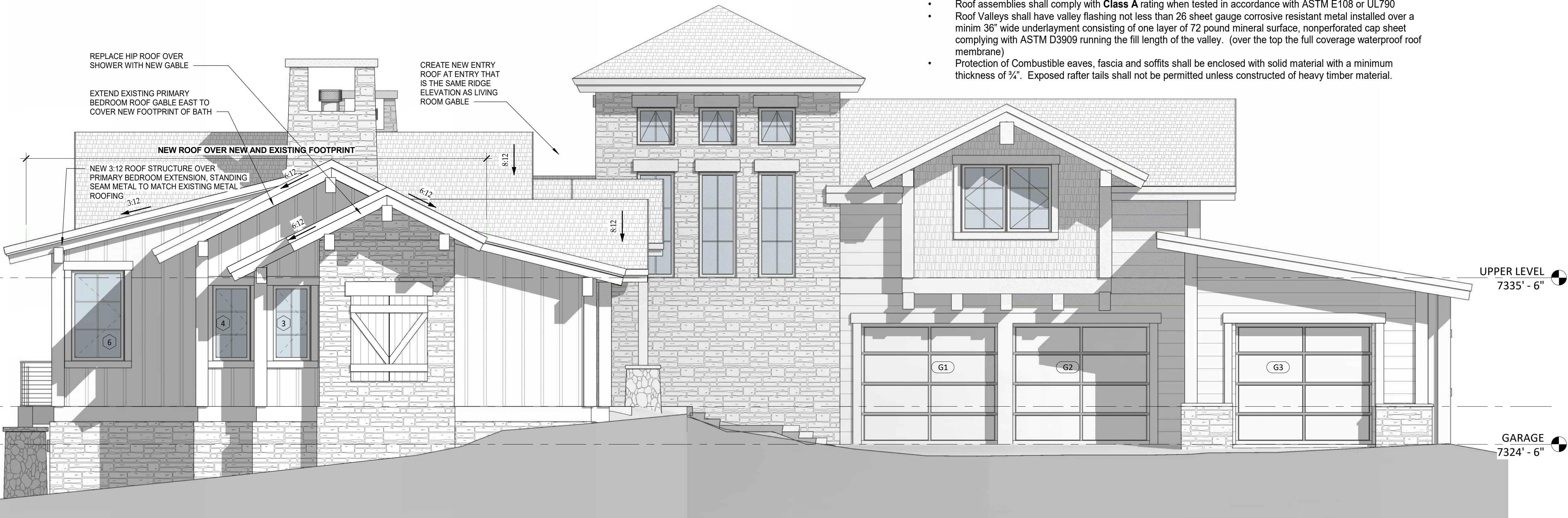
ROOF PLAN

A2.4

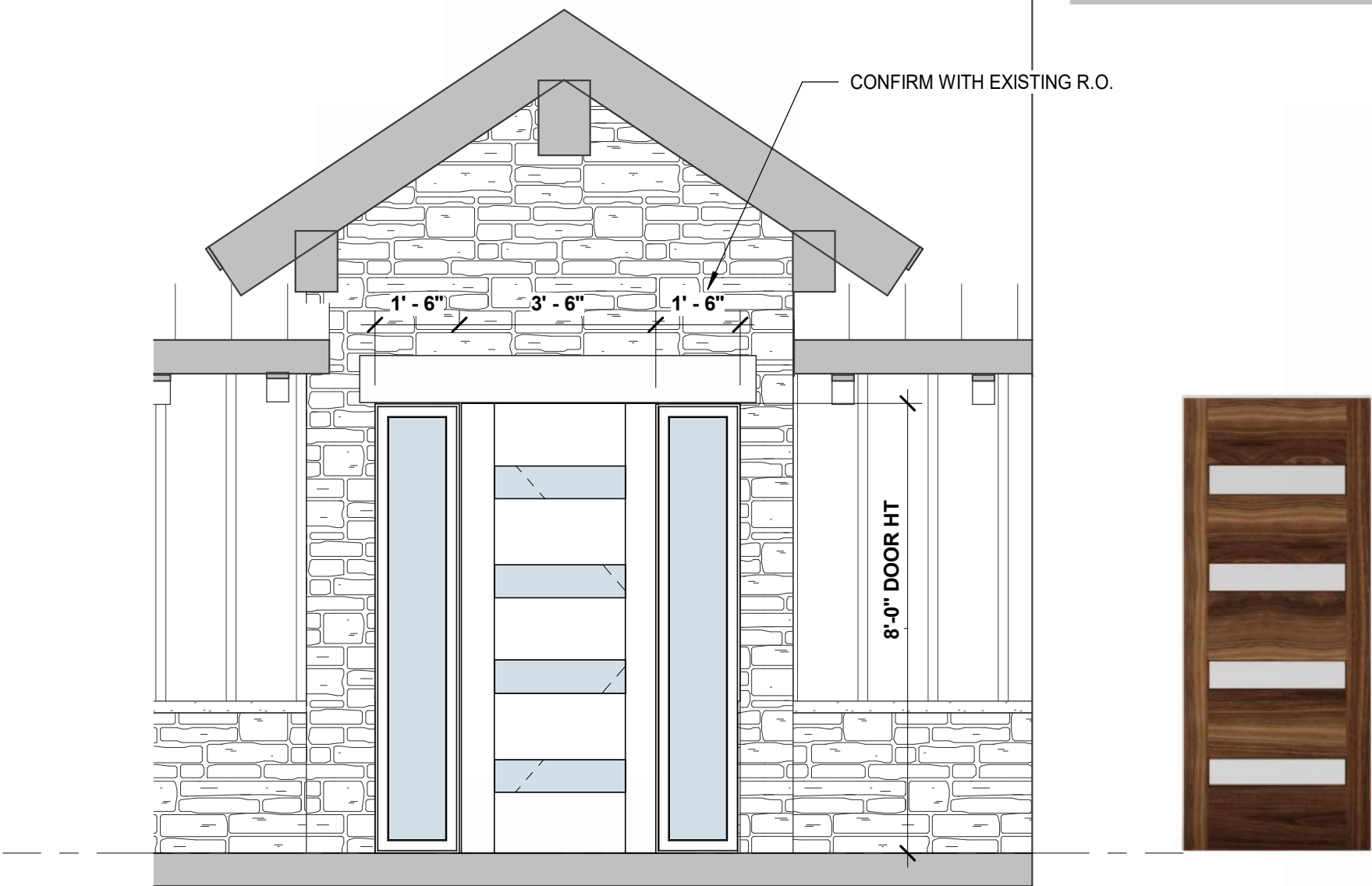
WINDOW SCHEDULE					
Mark	Family	Width	Height	Head Height	Comments
1	AWNING	2' - 6"	2' - 6"	7' - 6"	
2	AWNING	2' - 6"	2' - 6"	7' - 6"	
3	CASEMENT	2' - 6"	5' - 0"	8' - 0"	
4	CASEMENT	2' - 6"	5' - 0"	8' - 0"	
5	FIXED PICTURE	5' - 0"	5' - 0"	8' - 0"	
6	CASEMENT	3' - 6"	6' - 0"	9' - 0"	
7	CASEMENT	3' - 0"	6' - 0"	9' - 0"	
8	FIXED PICTURE	5' - 0"	6' - 0"	9' - 0"	
9	CASEMENT	3' - 0"	6' - 0"	9' - 0"	
10	CASEMENT	3' - 6"	6' - 0"	9' - 0"	
11	FIXED PICTURE	3' - 6"	8' - 0"	11' - 0"	
12	AWNING	3' - 6"	2' - 6"	3' - 0"	
13	FIXED PICTURE	5' - 0"	10' - 6"	11' - 0"	
14	FIXED PICTURE	5' - 0"	2' - 6"	14' - 1"	
15	FIXED PICTURE	3' - 6"	8' - 0"	11' - 0"	
16	AWNING	3' - 6"	2' - 6"	3' - 0"	
17	AWNING	4' - 0"	4' - 0"	7' - 0"	
18	AWNING	4' - 0"	4' - 0"	7' - 0"	
19	CASEMENT	3' - 0"	6' - 0"	8' - 0"	
20	FIXED PICTURE	5' - 0"	6' - 0"	8' - 0"	
21	CASEMENT	3' - 0"	6' - 0"	8' - 0"	

Grand total: 21

MAIN LEVEL
7327' - 0"



1 EAST ELEVATION
1/4" = 1'-0"



5 ENTRY DOOR
3/8" = 1'-0"

EXTERIOR MATERIAL NOTES:
ALL NEW EXTERIOR SIDING, TRIM, FASCIAS, AND TIMBER MATERIALS, COLORS, AND TEXTURES ARE TO MATCH EXISTING.

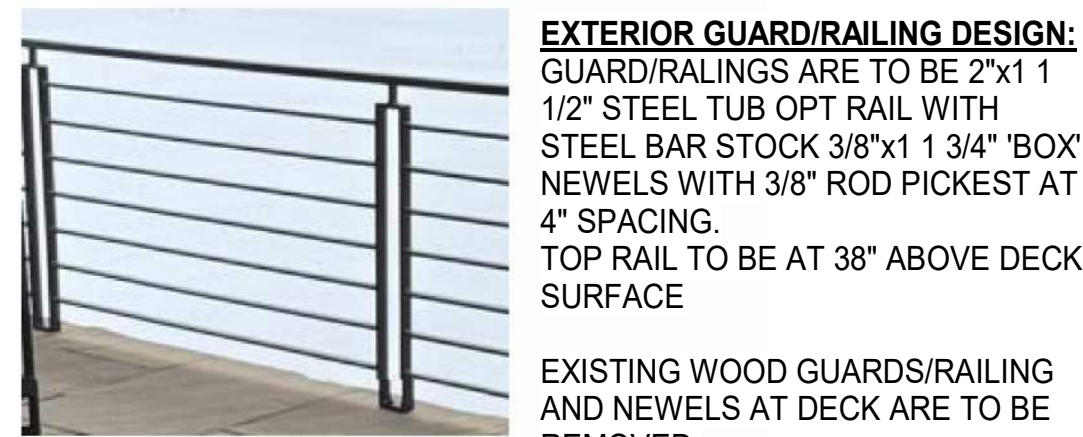
NEW WINDOWS SHALL MATCH EXISTING ALUM CLAD WINDOW COLOR



ROOFING NOTE:
DAVINCI, SINGLE WIDTH SHINGLE (12"), IN SLATE BLACK COLOR, CLASS 'A', INSTALLED IN 7" EXPOSURE.

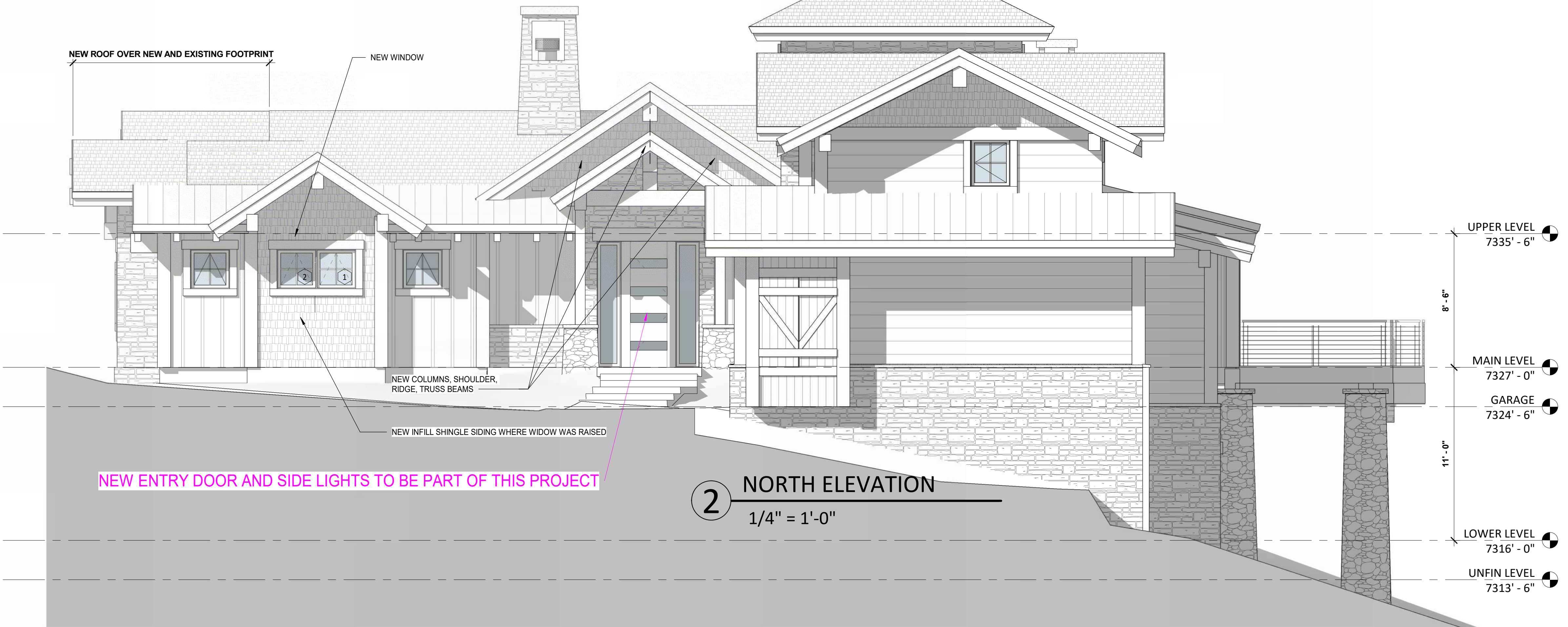
ALL EXISTING WOOD SHAKE ROOFING, AND FLASHING ARE TO BE REMOVED. PROVIDE NEW SYNTHETIC ROOFING ON FULL COVERAGE WATERPROOF MEMBRANE.

- Roof assemblies shall comply with **Class A** rating when tested in accordance with ASTM E108 or UL790
- Roof Valleys shall have valley flashing not less than 26 sheet gauge corrosive resistant metal installed over a minim 36" wide underlayment consisting of one layer of 72 pound mineral surface, nonperforated cap sheet complying with ASTM D3909 running the full length of the valley. (over the top the full coverage waterproof roof membrane)
- Protection of Combustible eaves, fascia and soffits shall be enclosed with solid material with a minimum thickness of 3/4". Exposed rafter tails shall not be permitted unless constructed of heavy timber material.



EXTERIOR GUARD/RAILING DESIGN:
GUARD/RAILINGS ARE TO BE 2"x1 1/2" STEEL TUB OPT RAIL WITH STEEL BAR STOCK 3/8"x1 1/4" 'BOX' NEWELS WITH 3/8" ROD PICKET AT 4" SPACING. TOP RAIL TO BE AT 38" ABOVE DECK SURFACE

EXISTING WOOD GUARDS/RAILING AND NEWELS AT DECK ARE TO BE REMOVED



2 NORTH ELEVATION
1/4" = 1'-0"



4 EAST ELEVATION-DEMOLITION
1/8" = 1'-0"



3 NORTH ELEVATION-DEMOLITION
1/8" = 1'-0"

ROOFING NOTE:
ALL EXISTING WOOD SHAKE ROOFING, AND FLASHING ARE TO BE REMOVED. PROVIDE NEW SYNTHETIC ROOFING ON FULL COVERAGE WATERPROOF MEMBRANE.

- Roof assemblies shall comply with **Class A** rating when tested in accordance with ASTM E108 or UL790
- Roof Valleys shall have valley flashing not less than 26 sheet gauge corrosive resistant metal installed over a minim 36" wide underlayment consisting of one layer of 72 pound mineral surface, nonperforated cap sheet complying with ASTM D3909 running the full length of the valley. (over the top the full coverage waterproof roof membrane)
- Protection of Combustible eaves, fascia and soffits shall be enclosed with solid material with a minimum thickness of 3/4". Exposed rafter tails shall not be permitted unless constructed of heavy timber material.

REVISIONS	Description	Date
No.		



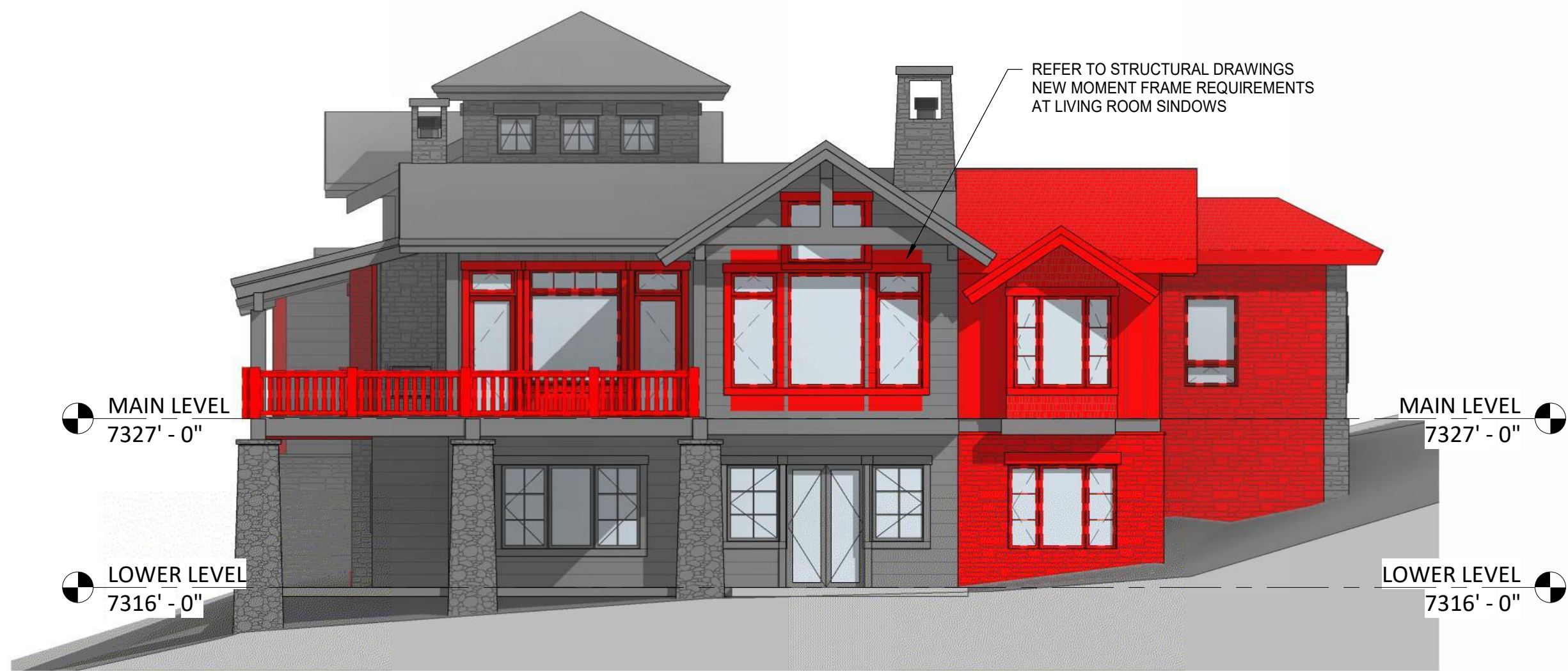
5 Image of deck from north
12" = 1'-0"



1 SOUTH ELEVATION
1/4" = 1'-0"



2 WEST ELEVATION
1/4" = 1'-0"



4 SOUTH ELEVATION-DEMOLITION
1/8" = 1'-0"



3 WEST ELEVATION-DEMOLITION
1/8" = 1'-0"

No.	Description	Date

3 3D View 2

3D View 3



1 3D View 4

① 3D View 4



PHOTO FROM BASE OF NEW DECK COLUMNS LOOKING TOWARD WEST NEIGHBOR



PHOTO FROM WEST DRAINAGE EASEMENT
LOOKING UP AT WEST SIDE OF BUILDING



PHOTO FROM GOLF COURSE CART PATH
LOOKING UP AT WEST SIDE OF BUILDING



PHOTO FROM GOLF COURSE CART PATH
LOOKING UP AT WEST SIDE OF BUILDING



PHOTO FROM GOLF COURSE CART PATH
LOOKING UP AT SOUTH SIDE OF BUILDING



PHOTO FROM WEST NEIGHBOR DECK LOOKING AT 3RD CAR GARAGE/CART GARAGE



PHOTOS OF SOUTH EASE SIDE OF
HOME SHOWING STEPPING PATH TO
BE REINSTALLED ON EAST SIDE



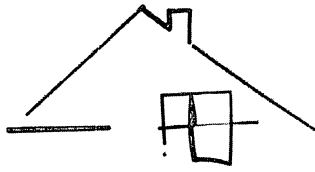
MARTIN MANLEY
ARCHITECTS
970.328.5151 OFFICE
PO Box 1587, Eagle, CO 81631
www.martmanleyarchitects.com

No.	Description	Date

THE RUBIN RESIDENCE
322 Legacy Trail
Cordillera Valley Club, Filing: 9 - Legacy Trail - Lot: 11
Edwards, CO 81632
DESIGN REVIEW SET

NOT FOR CONSTRUCTION

Date3-27-25
Project number2477
PHOTOS OF EXISTING HOME
A3.4



BJORNSON CUSTOM BUILDERS

To:

Mr. Jeff Embry

JEFF@hossleyembry.com

306 Legacy Trail

Edwards, CO 81632

Date:

24 April 2025

Dear Mr. Embry,

Thank you again for your willingness to allow limited access through the corner of your property during the construction of the Rubin residence at 322 Legacy Trail in CVC.

As discussed and outlined in the plans prepared by the project architect, the access path (Option #1) will involve limited ingress and egress—anticipated at no more than two entries and two exits—with a mini-excavator. We are committed to keeping this traffic to an absolute minimum and taking every precaution to avoid disruption to your property.

To further ensure your property is protected and restored, we have the following plan in place:

- All construction traffic will stay within the designated access path noted on the Construction Management Plan (Page 4 of the DRB set).
- Trees and vegetation along this path will be protected during the work.
- Upon completion of construction activities, any disturbed areas will be revegetated using a wildflower seed mix, and we will provide temporary irrigation from the Rubin residence to help establish growth. *- Unless trees are damaged, if so tree will be replaced*
- Our goal is to return the area to a condition that is equal to or better than its existing state.

This letter is intended to formally acknowledge your verbal approval and confirm your agreement to allow temporary site access as described. Please sign and return the enclosed copy for our records, or feel free to respond via email with your written confirmation.

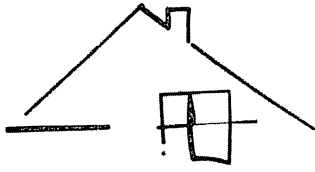
If you have any questions or concerns at any point, don't hesitate to contact me directly.

Thank you again for your cooperation and understanding.

Sincerely,

Tom Bjornson

General Contractor



BJORNSON CUSTOM BUILDERS

Acknowledgment of Access Agreement

I, Jeff Embury, agree to the temporary site access described for construction purposes related to 322 Legacy Trail.

Signature: _____

Date: _____

Jeff Embury
4-28-25



tom@bjornsonbuilders.com



(208) 818-4714



PO Box 3882 Vail, CO 81658