

THE RUBIN RESIDENCE

322 Legacy Trail

Cordillera Valley Club
 Filing: 9 - Legacy Trail - Lot: 11
 Edwards, CO 81632

3-10-25
 DESIGN REVIEW SET

Sheet #	Sheet Name
A0.0	COVER SHEET
A2.1	LOWER LEVEL PLAN
A2.2	MAIN LEVEL PLAN
A2.3	UPPER LEVEL PLAN
A2.4	ROOF PLAN
A3.1	EXTERIOR ELEVATIONS
A3.2	EXTERIOR ELEVATIONS
A3.3	EXTERIOR ELEVATIONS

MARTIN MANLEY ARCHITECTS
 970.328.5151 OFFICE
 PO Box 1587, Eagle, CO 81631
 www.martinmanleyarchitects.com

No.	Description	Date

PROPOSED DESIGN

EXISTING DESIGN



PROJECT DESCRIPTION

A Single-Family Residence ...
 * Exterior materials will all match existing materials, colors, and textures
 * addition to Main level Kitchen, Primary Suite, and Lower level Bedroom
 * Reroof the project to eliminate wood shake roofing and replace with synthetic shakes/shingles
 * All baths are to receive new finishes. See interior design package
 * Wood flooring on Main level to be replaced with new wood floor
 * New Entry door and Side lights
 * TOTAL NEW S.F. = 615 S.F.
 * TOTAL NEW DECK AREA = 750 S.F.
 * RE INSTALL STEPPING STONES ON SOUTHEAST CORNER OF HOME
 * NO LANDSCAPING AS PART OF THIS PROJECT. ONLY RESEED/RESOD DISTURBED AREAS AND REWORK IRRIGATION AS REQUIRED.

CODE SUMMARY

This project falls under the jurisdiction of:
 The CVC Design Review Board and Eagle County Building Department
 The 2021 International Residential Code (IRC 2021)
 The 2023 National Electrical Code
 Including adopted amendments
 Class of Work: Renovation/Addition, Level 2 renovation
 Type of Occupancy: R-3 (Single-Family)
 Type of Construction: Type V-b (Sprinklered)
 Levels: 2-story over walk-out basement

M/E/P DESCRIPTION

* Heating: evaluate existing boiler to see if additional can be added to capacity
 * Provide elec heat mat under Primary Bath floor
 * Forced Air ducted system with Air Conditioning on Main level. Maybe 2 zone units with one over Primary closet and one over Kitchen dropped ceiling. Existing wall mounted mini splits to remain within upper level and lower level bedroom. evaluate reuse of mini split removed from master to be reused.
 * Provide Solar Ready roof area when reroofing home with synthetic shingles
 * Review adding an EV charging station within garage
 * Existing TOTO toilets are to remain/ be reused
 *

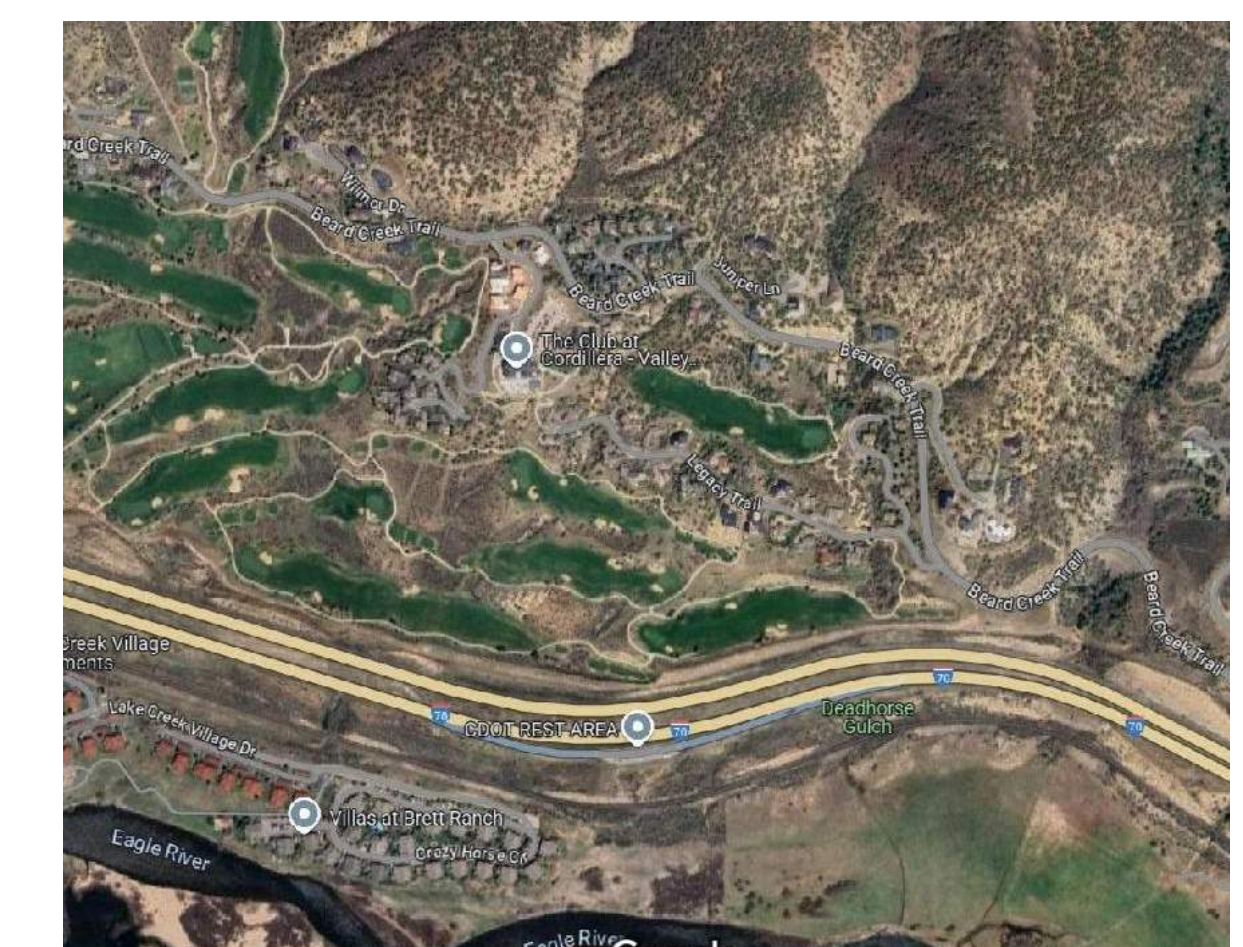
FIRE DEPT. SUMMARY

Fire Dept. Notes:
 Existing Smoke Detectors and Carbon Monoxide alarms must be installed IN ALL DWELLING UNITS, confirm that they are installed per 2021 IFC and fire alarm installation standards.
AN AUTOMATIC FIRE-SPRINKLER SYSTEM is not part of this project. System does not exist within existing home.

GENERAL NOTES

THESE CONSTRUCTION DOCUMENTS INCLUDING ARCHITECTURAL SHEETS HAVE BEEN PREPARED IN RESPONSE TO THE SPECIFIC BASIC SERVICES REQUESTED BY THE OWNER CONTEMPLATING CONTINUED INVOLVEMENT. SELECTIONS AND DECISION MAKING BY THE GENERAL CONTRACTOR AND OWNER THROUGH COMPLETION OF CONSTRUCTION.
 THESE DOCUMENTS INDICATE THE SCOPE OF ARCHITECTURAL DESIGN CONCEPTS APPROVED BY THE OWNER AND INCLUDE DIMENSIONS OF THE BUILDING, THE TYPES OF STRUCTURAL SYSTEMS AND AN OUTLINE OF THE ARCHITECTURAL AND STRUCTURAL ENGINEERING ELEMENTS OF CONSTRUCTION.
 THESE CONSTRUCTION DOCUMENTS PROVIDE THE SCOPE OF SERVICES AS OUTLINED IN THE AGREEMENT FOR ARCHITECTURAL SERVICES AND THEREFORE DO NOT NECESSARILY INDICATE OR DESCRIBE ALL MATERIALS REQUIRED FOR FULL PERFORMANCE AND COMPLETION OF THE WORK.
 IT IS THE UNDERSTANDING OF THE ARCHITECT AND ENGINEER THAT THE GENERAL CONTRACTOR SHALL FURNISH ALL WORK REQUIRED FOR PROPER COMPLETION OF THE WORK AND THAT THE WORK SHALL BE OF SOUND AND QUALITY CONSTRUCTION IN ACCORDANCE WITH INDUSTRY STANDARDS AND ALL MANUFACTURERS SPECIFICATIONS, INSTRUCTIONS, AND WARRANTY REQUIREMENTS.
 THE CONTRACTOR, BASED ON THE FOREGOING, SHALL PREPARE FOR OWNER REVIEW A REALISTIC BUDGET WITH A LATITUDE OF PRICES BASED ON ASSUMPTIONS OF SCOPE OF WORK AND OWNER PRODUCT SELECTIONS.
 CONTRACTOR'S RESPONSIBILITIES:
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING CONDITIONS, CONSTRUCTION DOCUMENTS, STRUCTURAL DOCUMENTS, MUNICIPAL AND/OR COUNTY ZONING CODES, PERTINENT IRC 2021 CODE REQUIREMENTS, AND GENERAL SPECIFICATIONS.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MECHANICAL AND ELECTRICAL ENGINEERING, DESIGN, SPECIFICATIONS AND DRAWINGS AS REQUIRED FOR BUILDING PERMIT AND APPROVAL BY OWNER AND ARCHITECT.

VICINITY MAP:



PROJECT INFORMATION

Owner: Legacy CVC LLC
 c/o Alan Rubin
 Address: 3700 SW 30TH AVE
 FORT LAUDERDALE, FL 33312-67
 Location: 322 Legacy Trail
 Cordillera Valley Club
 Filing: 9 Legacy Trail - Lot: 11
 Edwards, CO 81632
 Parcel # 1943-314-12-011

Architect: Jeffrey P Manley, AIA
 Martin Manley Architects
 www.martinmanleyarchitects.com
 jeff@martinmanleyarchitects.com
 970-688-0326

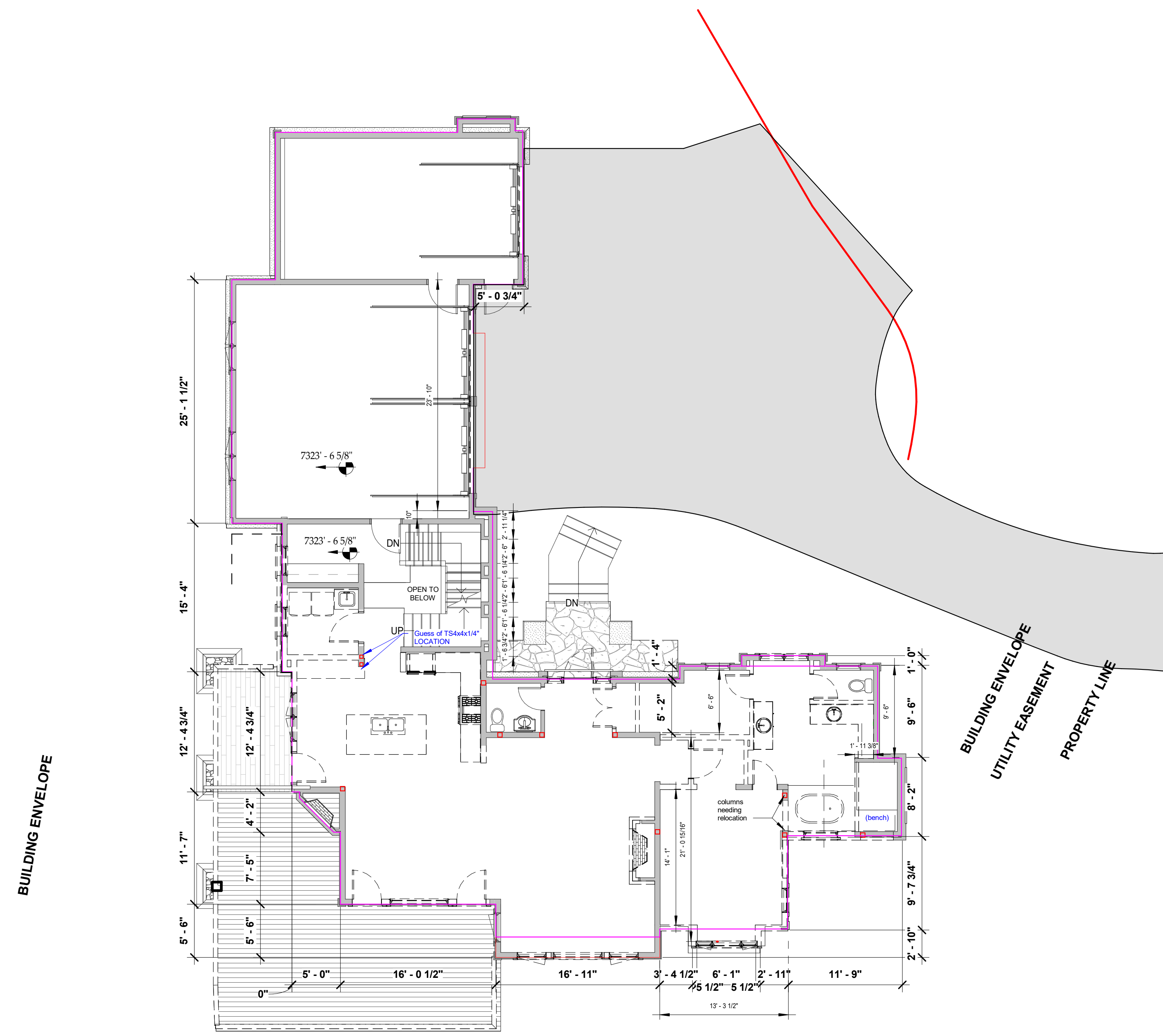
Struct. Eng.: To be Determined

Contractor: Bjornson Custom Builders
 Tom Bjornson
 PO Box 3882 Vail, CO 81658
 tom@bjornsonbuilders.com
 208 818 4714

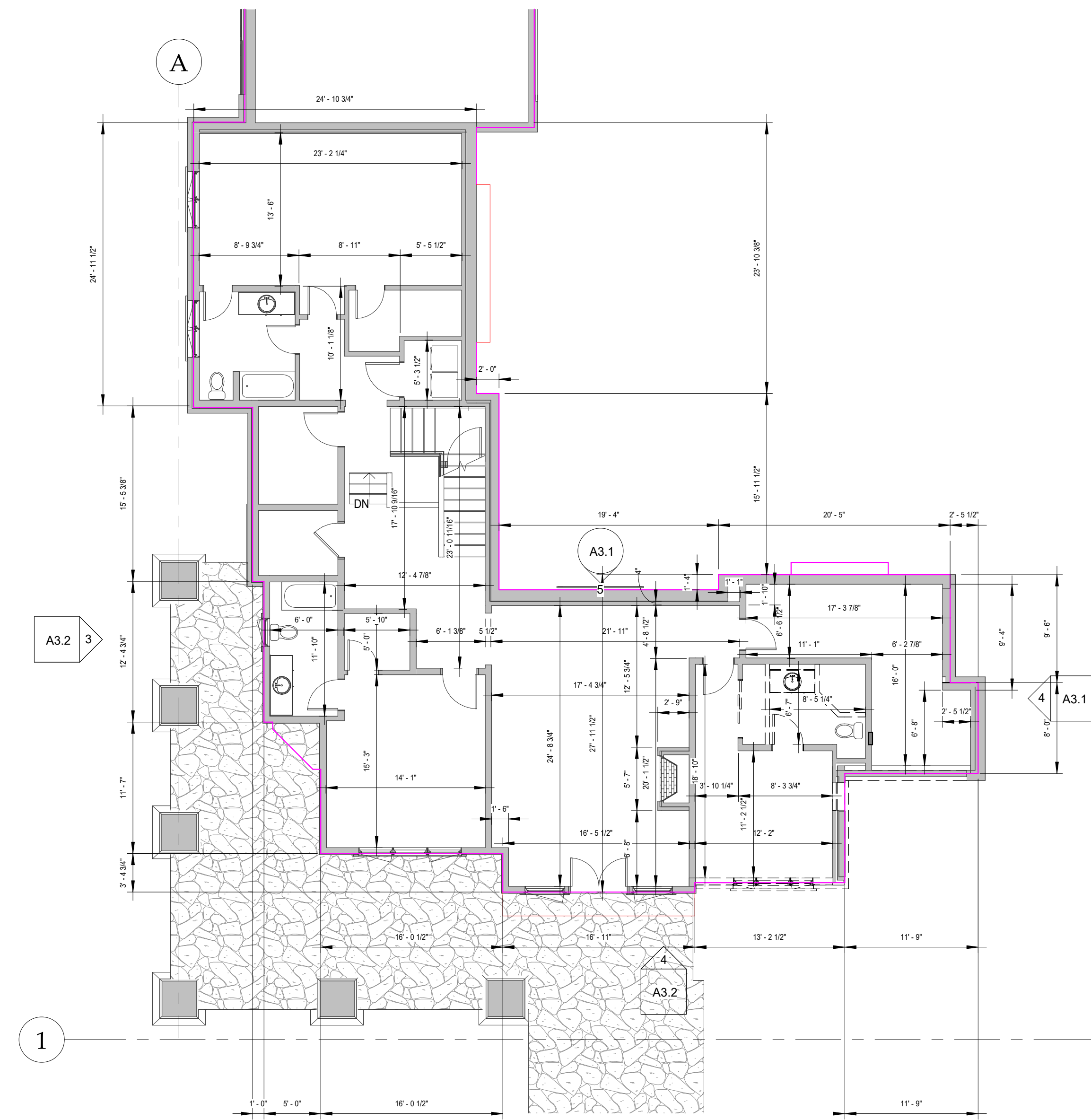
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Date: 3-10-25
 Project Number: 2477
 COVER SHEET
A0.0

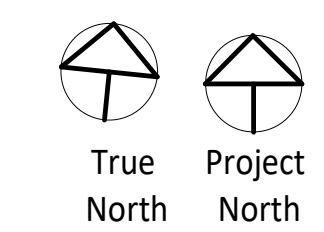


2 FLOOR PLAN - MAIN LEVEL DEMO
1/8" = 1'-0"

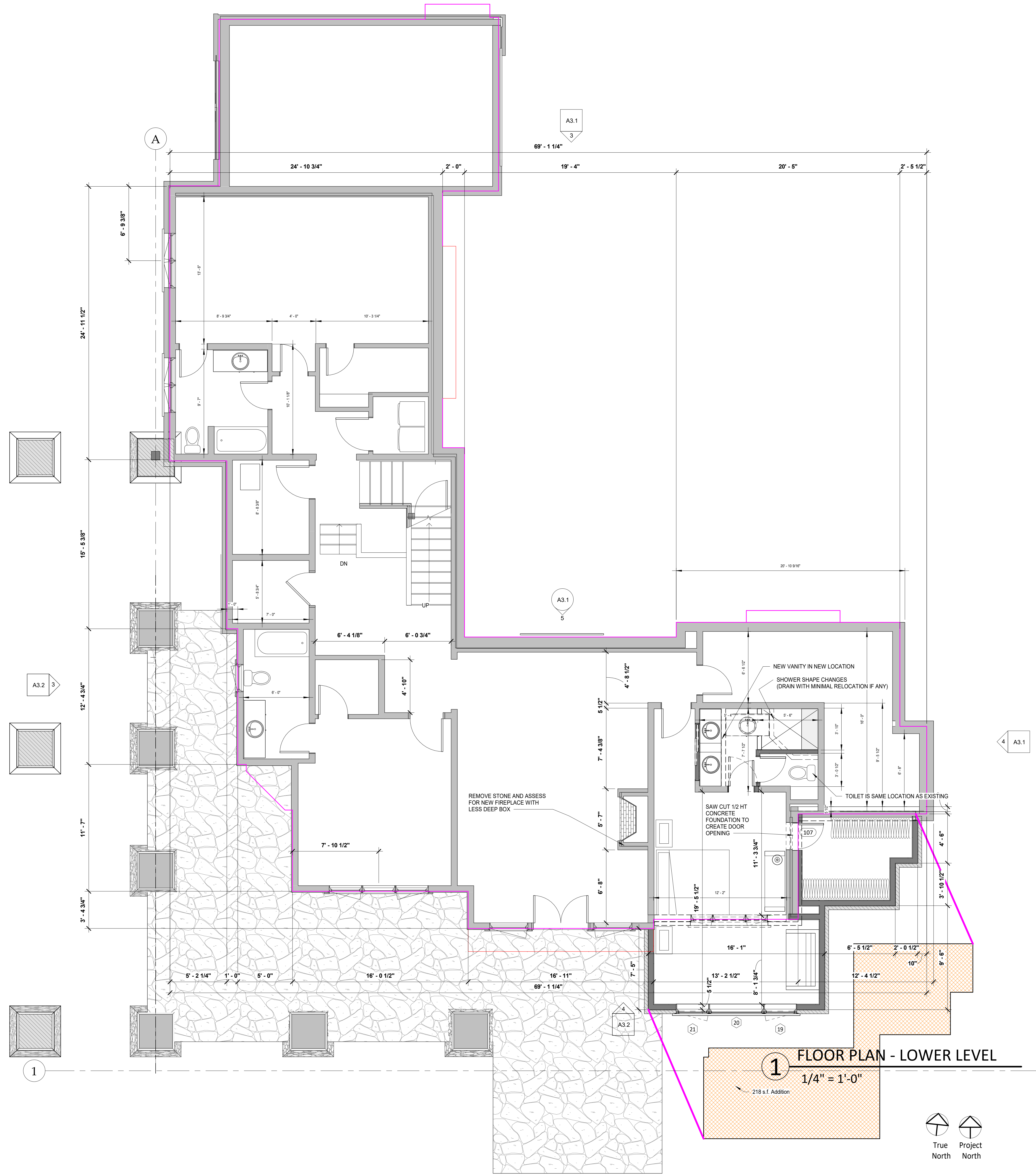


1 FLOOR PLAN - LOWER LEVEL DEMO
1/8" = 1'-0"

- DEMO NOTES**
1. PROVIDE THE APPROPRIATE SHORING AND/ OR BRACING TO PREVENT COLLAPSE OF ANY PART OF STRUCTURE TO REMAIN, RE-STRUCTURAL AS REQUIRED.
 2. COORDINATE NEW FRAMING SCHEDULE TO LIMIT TIME STRUCTURE IS OPEN TO WEATHER. PROVIDE WEATHER PROTECTS AS NEEDED.
 3. CONTRACTOR TO ARRANGE FOR PROPER DISCONTINUANCE AND/ OR RELOCATION OF ALL PUBLIC UTILITIES PRIOR TO DEMOLITION AS NECESSARY
 4. REMOVE ELECTRICAL WIRING AND CONDUIT AT AREAS OF DEMOLITION & PREP FOR NEW WORK.
 5. PROTECT ALL INTERIOR SURFACES TO REMAIN FROM UNNECESSARY DAMAGE DURING DEMOLITION AND NEW CONSTRUCTION.
 6. COORDINATE WITH OWNER/ ARCHITECT THE REMOVAL OF ALL SALVAGED MATERIALS RECYCLE AND DONATE AS NEEDED.
 7. CONTRACTOR TO COMPLY WITH LOCAL STANDARDS FOR DEMOLITION REQUIREMENTS AS APPLICABLE.
 8. CONTRACTOR TO REMAIN DURING DEMOLITIONS AND CONSULT ENGINEER AND ENGINEER'S DRAWINGS WITH ANY QUESTIONS OR CONCERNS.



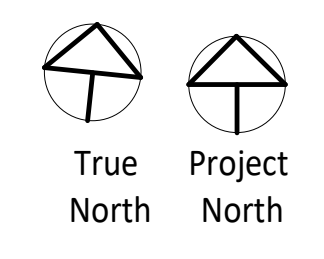
No.	Description	Date



1 FLOOR PLAN - LOWER LEVEL

1/4" = 1'-0"

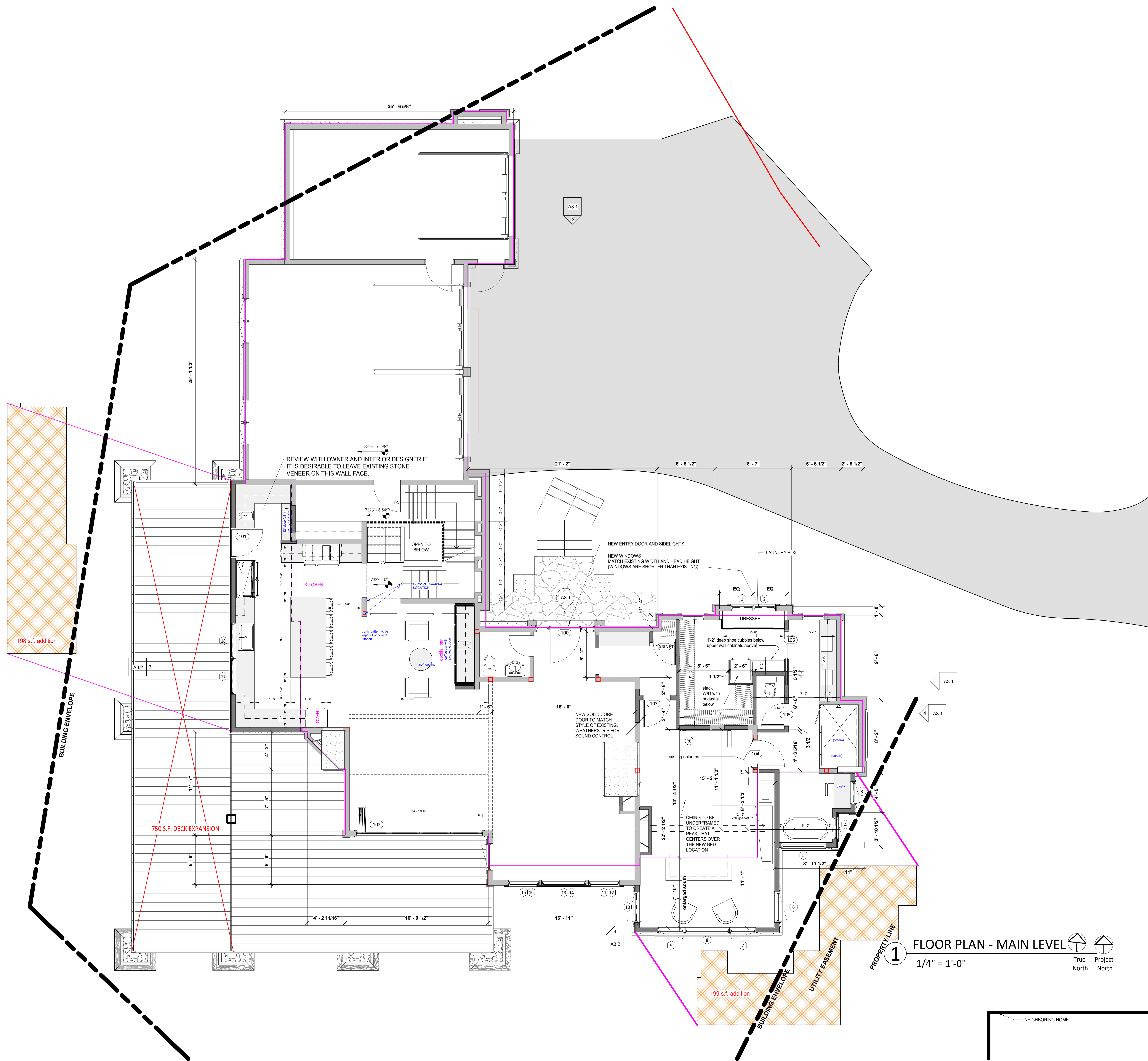
218 s.f. Addition



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1 FLOOR PLAN - MAIN LEVEL
 1/4" = 1'-0"
 True North Project North

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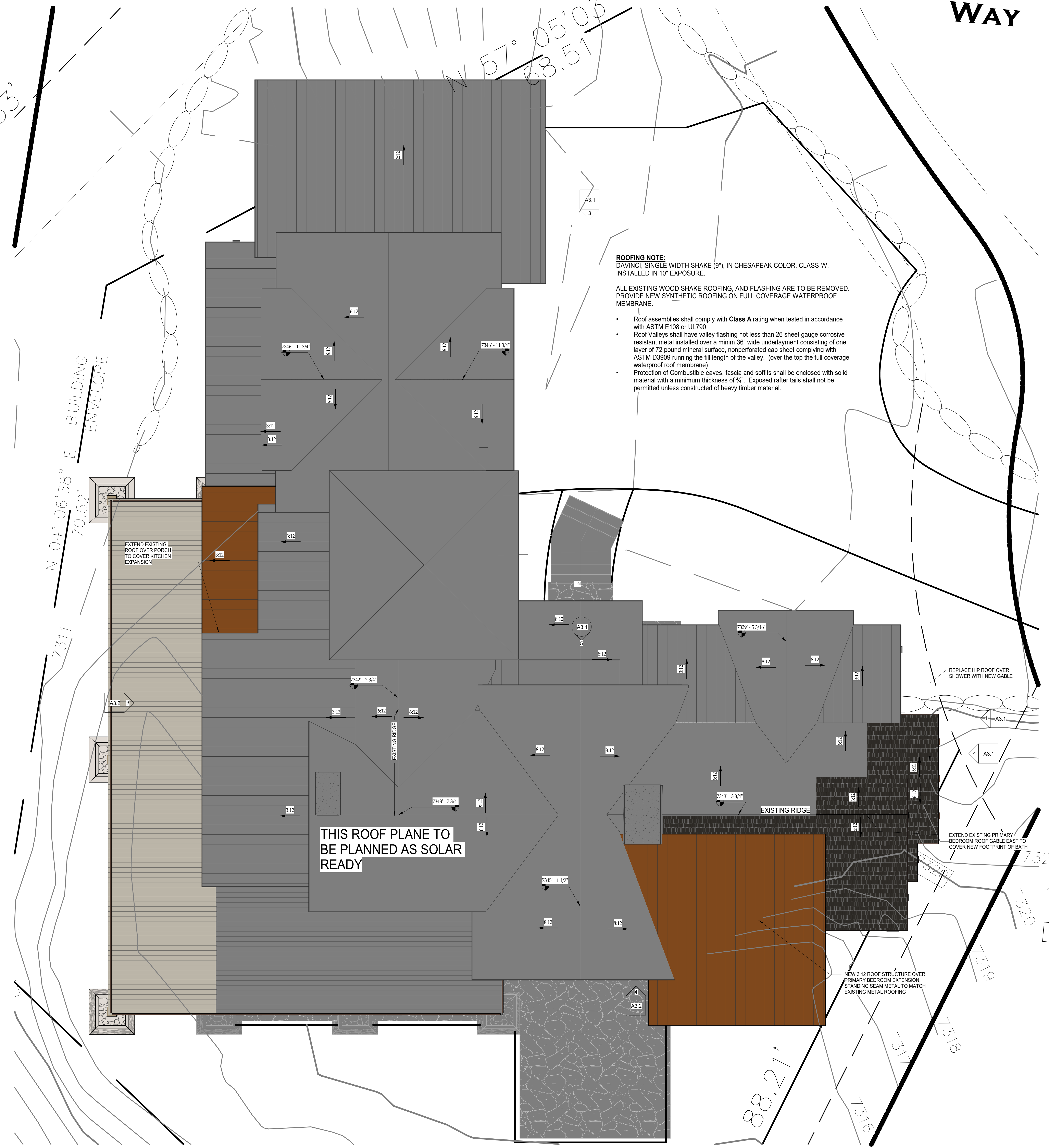
NOT FOR CONSTRUCTION

N 39° 01'24" E
100.53'

N 04° 06'38" E BUILDING ENVELOPE
70.52'

PRIVATE RIGHT-OF-WAY

3/7/2025 12:45:54 PM



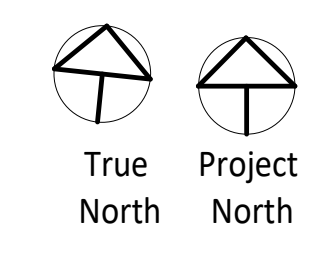
ROOFING NOTE:
DAVINCI, SINGLE WIDTH SHAKE (9"), IN CHESAPEAKE COLOR, CLASS 'A', INSTALLED IN 10" EXPOSURE.

ALL EXISTING WOOD SHAKE ROOFING, AND FLASHING ARE TO BE REMOVED. PROVIDE NEW SYNTHETIC ROOFING ON FULL COVERAGE WATERPROOF MEMBRANE.

- Roof assemblies shall comply with **Class A** rating when tested in accordance with ASTM E108 or UL790.
- Roof Valleys shall have valley flashing not less than 26 sheet gauge corrosion resistant metal installed over a minim 36" wide underlayment consisting of one layer of 72 pound mineral surface, nonperforated cap sheet complying with ASTM D3909 running the full length of the valley. (over the top the full coverage waterproof roof membrane)
- Protection of Combustible eaves, fascia and soffits shall be enclosed with solid material with a minimum thickness of 3/4". Exposed rafter tails shall not be permitted unless constructed of heavy timber material.

THIS ROOF PLANE TO BE PLANNED AS SOLAR READY

10' UTILITY AND DRAINAGE EASEMENT



3 ROOF PLAN
1/4" = 1'-0"

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ROOF PLAN
A2.4

WINDOW SCHEDULE					
Mark	Family	Width	Height	Head Height	Comments
1	AWNING	2'-6"	2'-6"	7'-6"	
2	AWNING	2'-6"	2'-6"	7'-6"	
3	CASEMENT	2'-6"	5'-0"	8'-0"	
4	CASEMENT	2'-6"	5'-0"	8'-0"	
5	FIXED PICTURE	5'-0"	5'-0"	8'-0"	
6	CASEMENT	3'-6"	6'-0"	9'-0"	
7	CASEMENT	3'-0"	6'-0"	9'-0"	
8	FIXED PICTURE	5'-0"	6'-0"	9'-0"	
9	CASEMENT	3'-0"	6'-0"	9'-0"	
10	CASEMENT	3'-6"	6'-0"	9'-0"	
11	FIXED PICTURE	3'-6"	8'-0"	11'-0"	
12	AWNING	3'-6"	2'-6"	3'-0"	
13	FIXED PICTURE	5'-0"	10'-6"	11'-0"	
14	FIXED PICTURE	5'-0"	2'-6"	14'-1"	
15	FIXED PICTURE	3'-6"	8'-0"	11'-0"	
16	AWNING	3'-6"	2'-6"	3'-0"	
17	AWNING	4'-0"	4'-0"	7'-0"	
18	AWNING	4'-0"	4'-0"	7'-0"	
19	CASEMENT	3'-0"	6'-0"	8'-0"	
20	FIXED PICTURE	5'-0"	6'-0"	8'-0"	
21	CASEMENT	3'-0"	6'-0"	8'-0"	

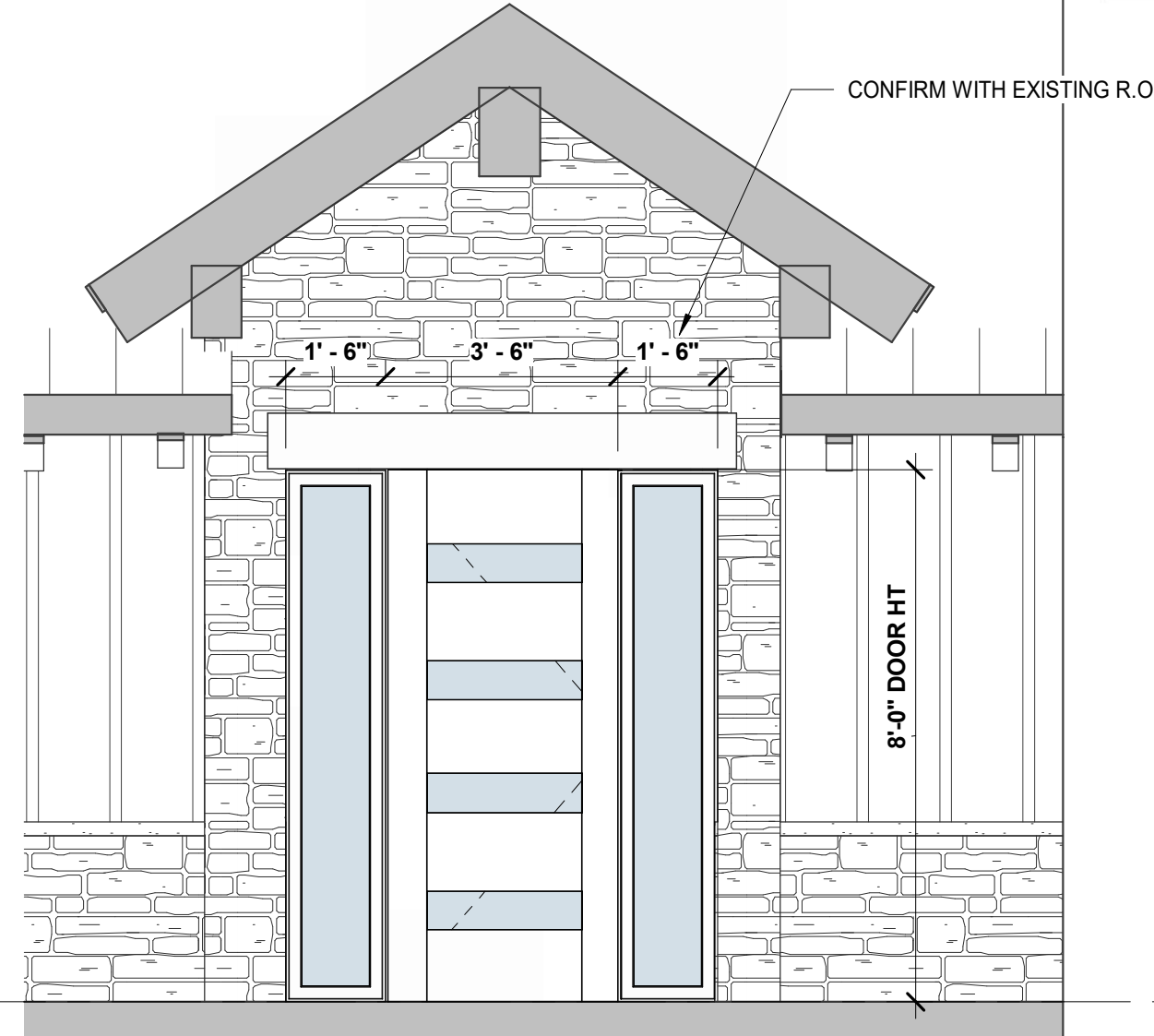
Grand total: 21



ROOFING NOTE:
 ALL EXISTING WOOD SHAKE ROOFING, AND FLASHING ARE TO BE REMOVED.
 PROVIDE NEW SYNTHETIC ROOFING ON FULL COVERAGE WATERPROOF MEMBRANE.

- Roof assemblies shall comply with **Class A** rating when tested in accordance with ASTM E108 or UL790
- Roof Valleys shall have valley flashing not less than 26 sheet gauge corrosive resistant metal installed over a minim 36" wide underlayment consisting of one layer of 72 pound mineral surface, nonperforated cap sheet complying with ASTM D3909 running the full length of the valley. (over the top the full coverage waterproof membrane)
- Protection of Combustible eaves, fascia and soffits shall be enclosed with solid material with a minimum thickness of 3/4". Exposed rafter tails shall not be permitted unless constructed of heavy timber material.

1 EAST ELEVATION
 1/4" = 1'-0"



5 ENTRY DOOR
 3/8" = 1'-0"

EXTERIOR MATERIAL NOTES:
 ALL NEW EXTERIOR SIDING, TRIM, FASCIAS, AND TIMBER MATERIALS, COLORS, AND TEXTURES ARE TO MATCH EXISTING.

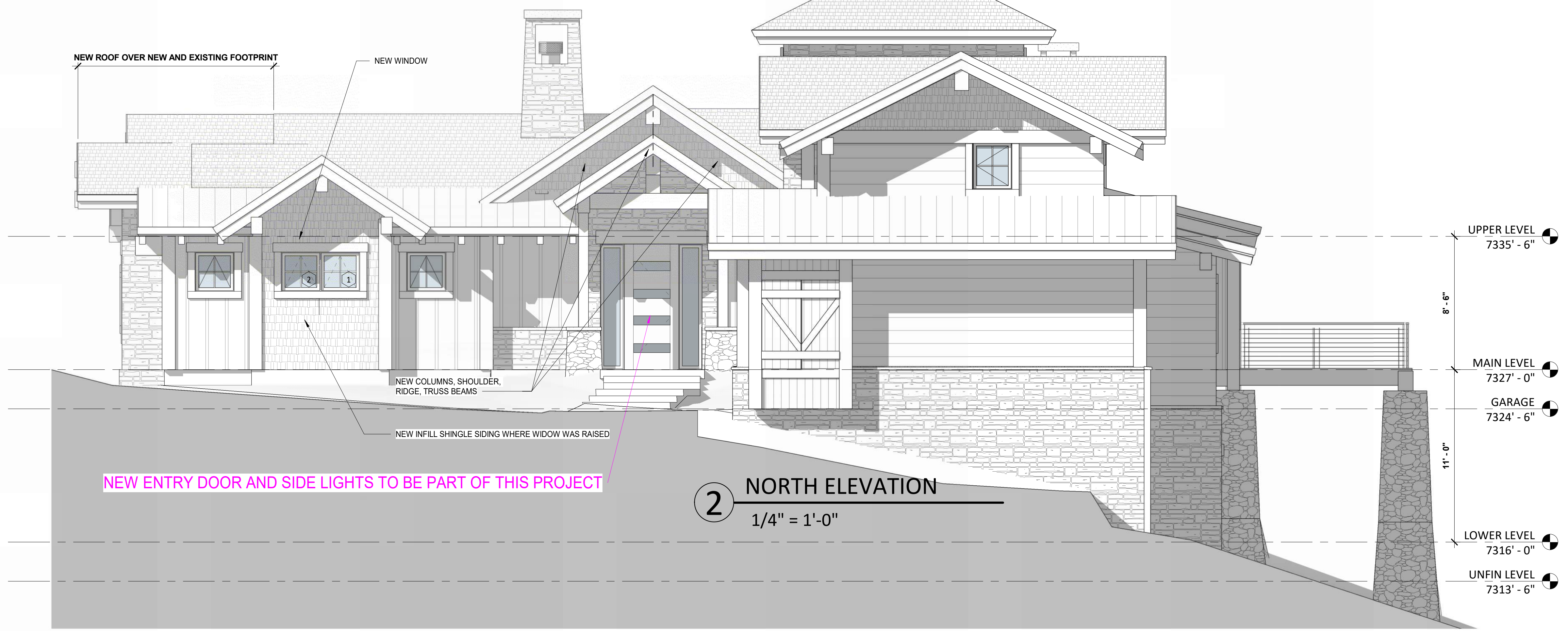
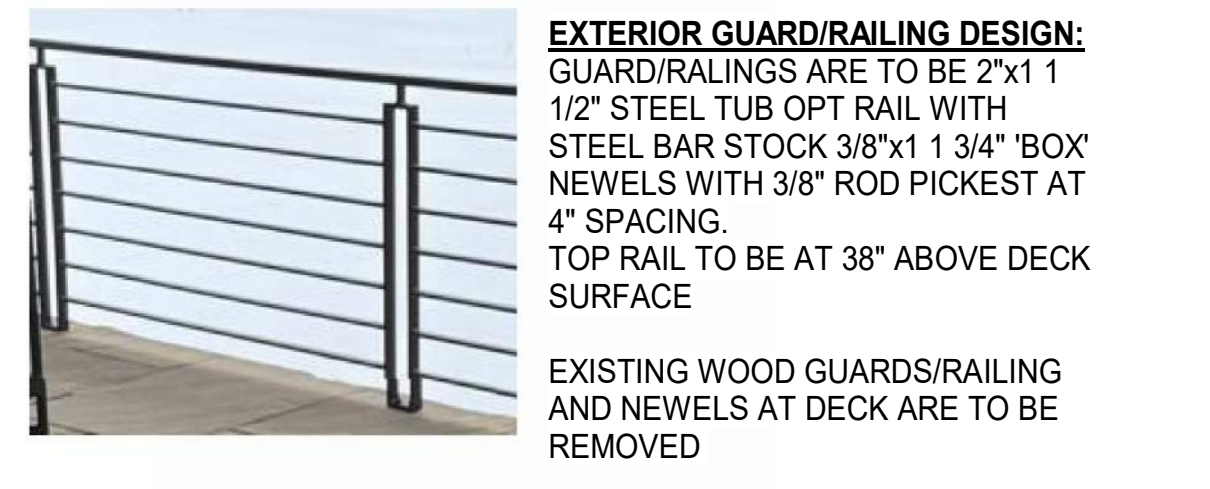
NEW WINDOWS SHALL MATCH EXISTING ALUM CLAD WINDOW COLOR



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2 NORTH ELEVATION
 1/4" = 1'-0"



4 EAST ELEVATION-DEMOLITION
 1/8" = 1'-0"



3 NORTH ELEVATION-DEMOLITION
 1/8" = 1'-0"

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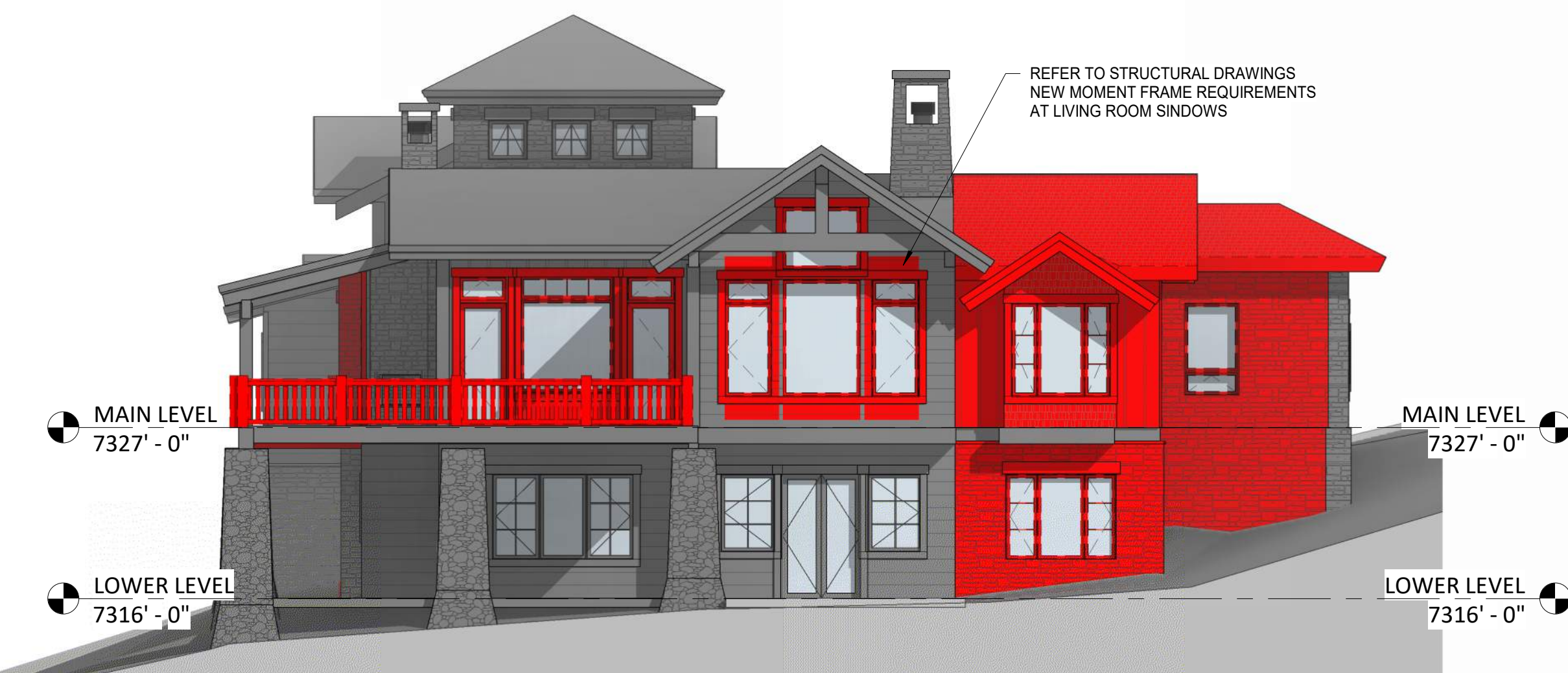
Date: 3-10-25
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 EXTERIOR ELEVATIONS
A3.1



1 SOUTH ELEVATION
1/4" = 1'-0"



2 WEST ELEVATION
1/4" = 1'-0"



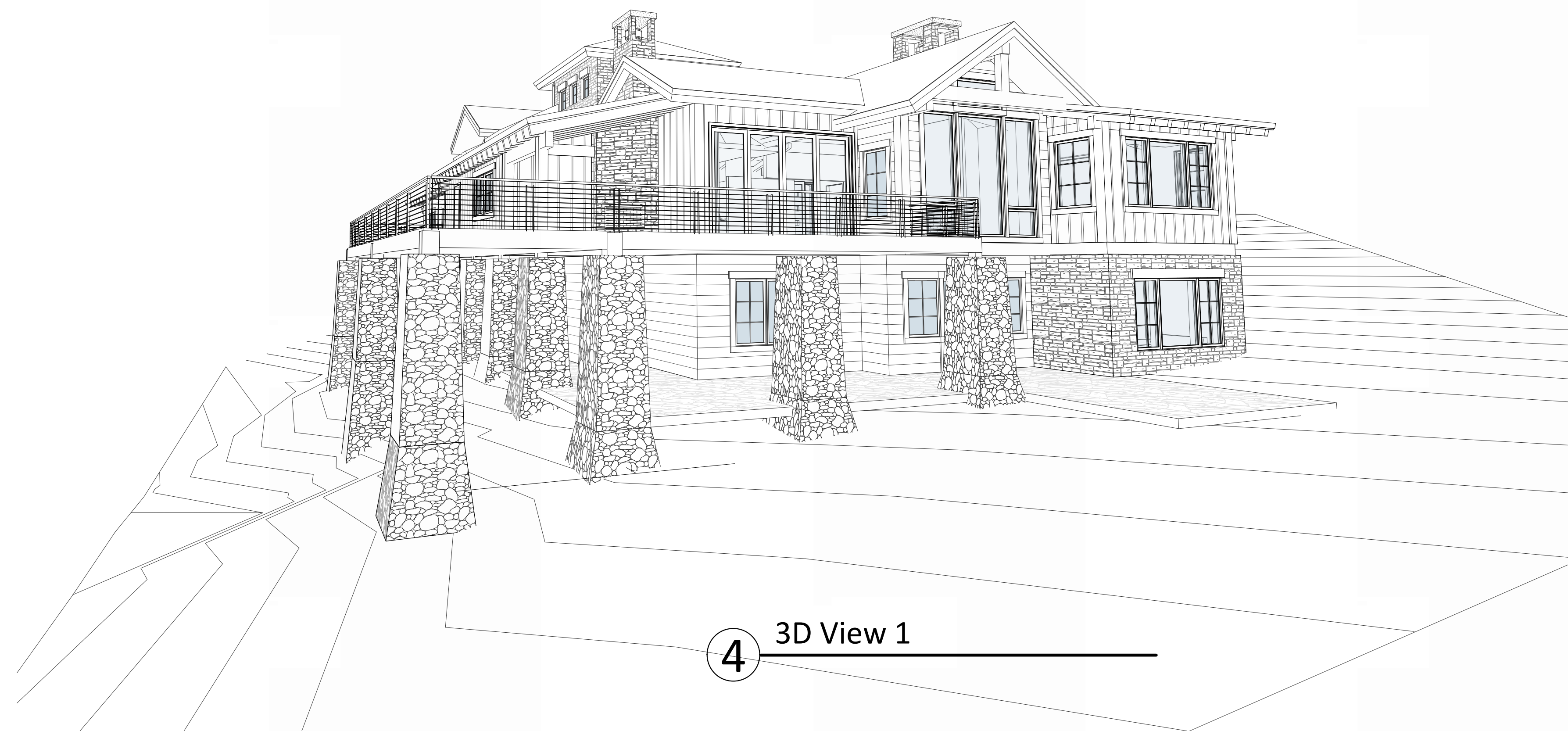
4 SOUTH ELEVATION-DEMOLITION
1/8" = 1'-0"



3 WEST ELEVATION-DEMOLITION
1/8" = 1'-0"

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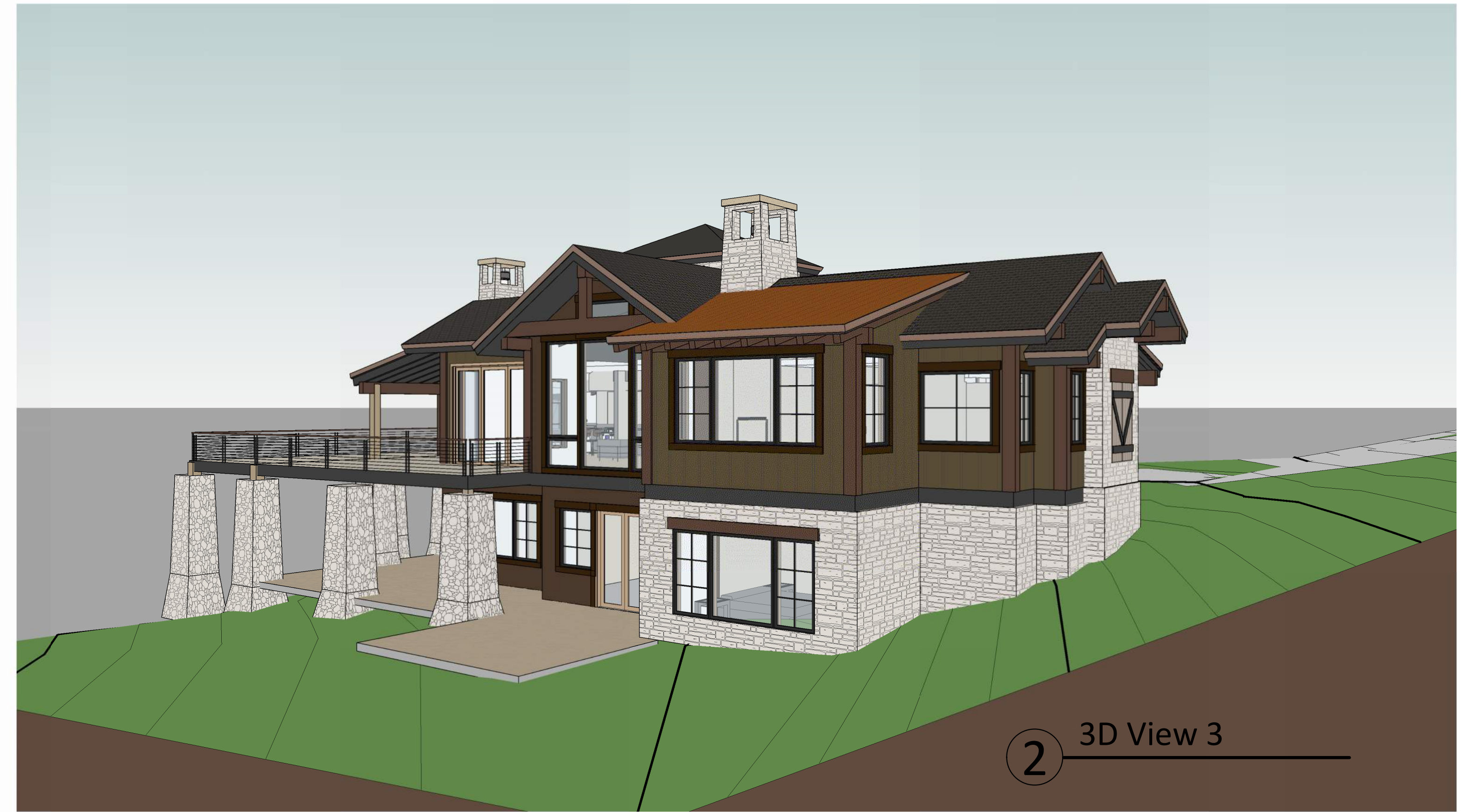
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4 3D View 1



3 3D View 2



2 3D View 3



1 3D View 4

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