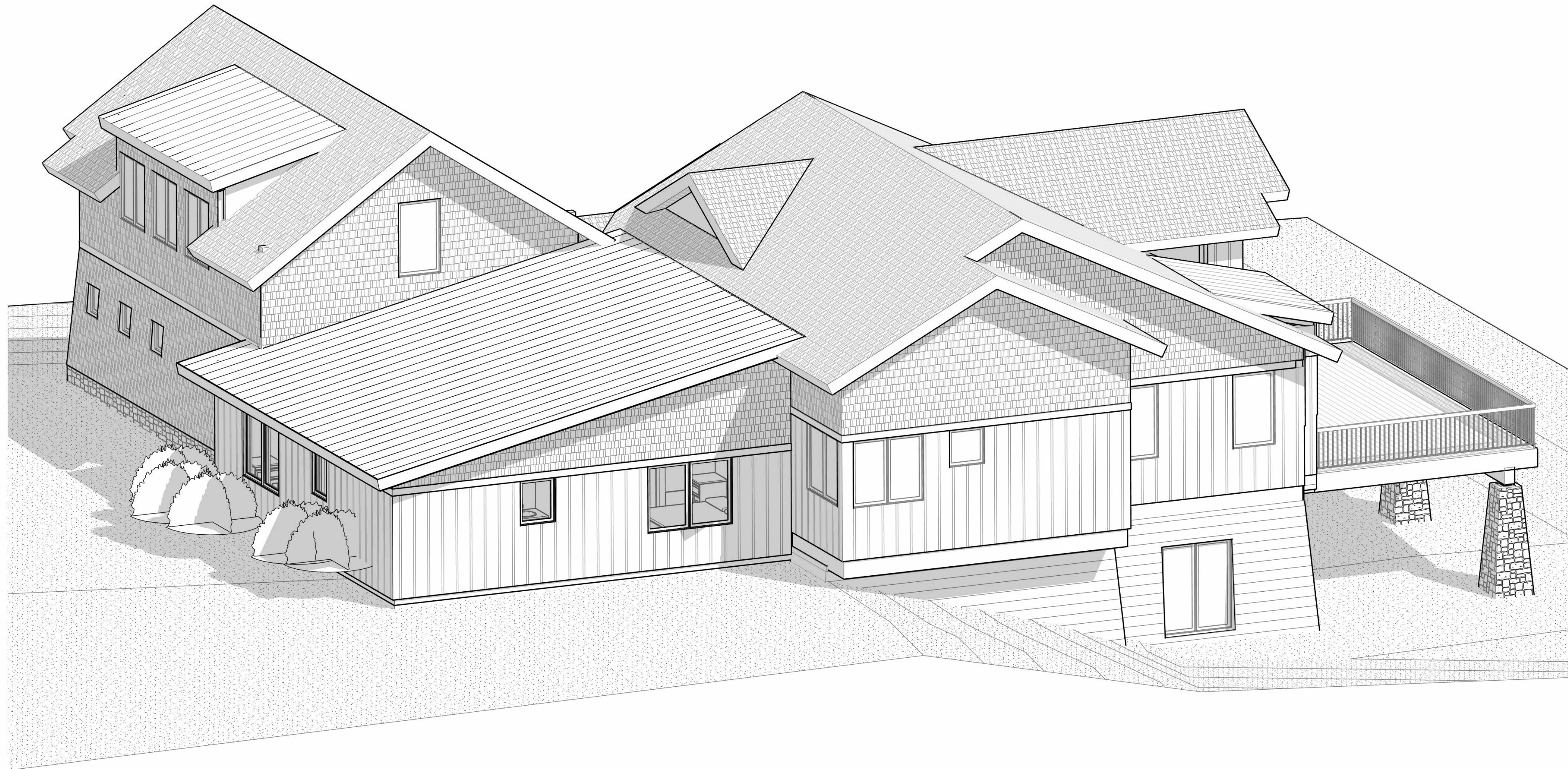


CUSTOM HOME ADDITION

CORDILLERA VALLEY CLUB FIL 7 LOT 4
1846 BEARD CREEK TRAIL
EDWARD, CO 81632

DRB Submittal - 01/06/2025



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ARCHITECTURE
PROFESSIONAL ARCHITECTS | 1846 BEARD CREEK TRAIL, EDWARDS, CO 81632

**NOT FOR
CONSTRUCTION**
SEAL

Custom Home Addition
CORDILLERA VALLEY CLUB FIL 7 LOT 4
1846 BEARD CREEK TRAIL
EDWARDS, CO 81632

Job #
2024-020

Issue Date
DRB Submittal - 01/06/2025

Drawing Name
COVER

No.

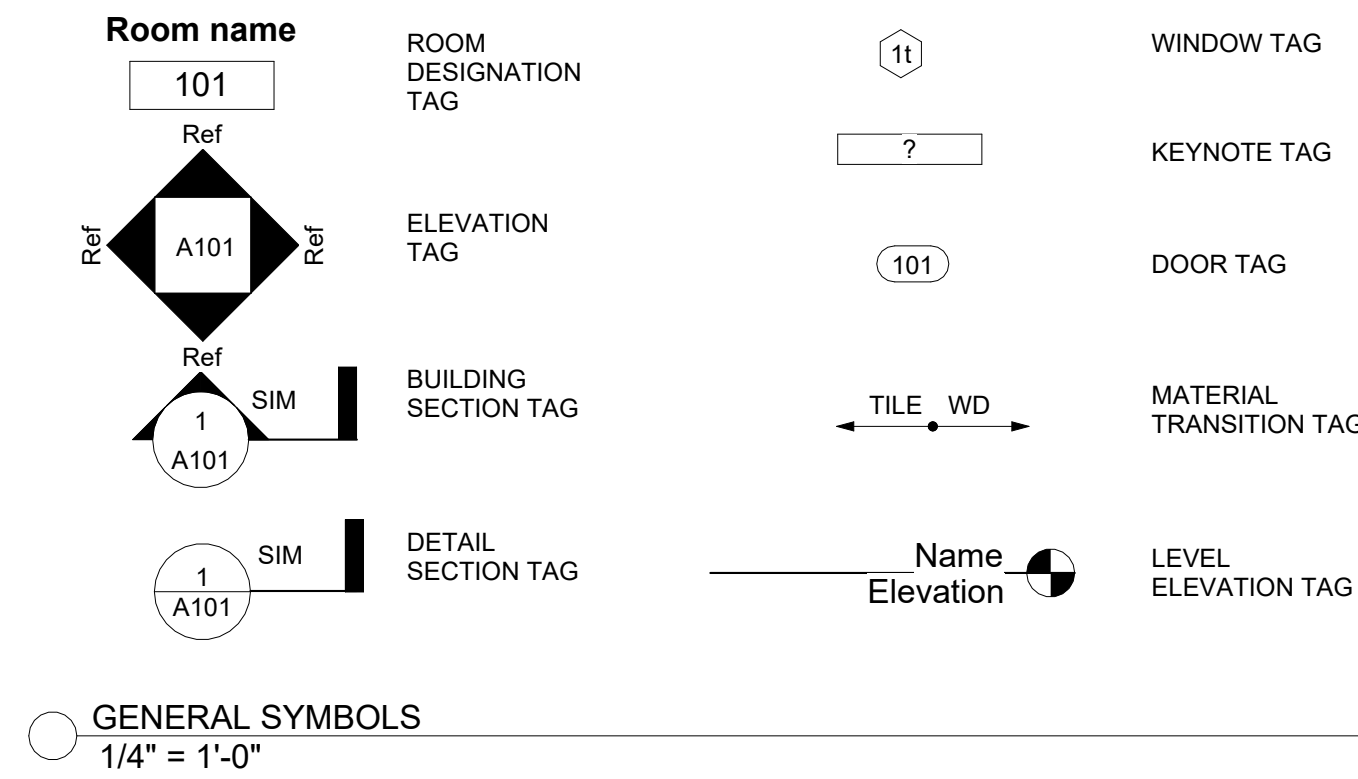
Date

Revision

A000

Sheet List	
Sheet Number	Sheet Name
D202	DEMO MAIN LEVEL PLAN
A000	COVER
A001	GENERAL NOTES & WALL TYPES
A002	PHOTOS
SURVEY	SURVEY
A101	SITE PLAN
A103	LANDSCAPE PLAN
A104	CONSTRUCTION MANAGEMENT PLAN
A200	AREA PLANS
A201	LOWER LEVEL PLANS
A202	MAIN LEVEL PLANS
D203	DEMO ROOF PLAN
A203	REMODEL ROOF PLAN
A301	SOUTH EXT. ELEVATIONS
A302	EAST EXT. ELEVATIONS
A401	BUILDING SECTIONS
A501	CONSTRUCTION DETAILS

GENERAL SYMBOLS



GENERAL NOTES:

- Do not scale drawings.
- Dimensions to face of stud and/or concrete foundation unless noted otherwise.
- Thorough effort is made to provide a complete and clear set of construction documents. In the case of discrepancies, omissions, or missing information required to complete construction Contractor to contact Architect and/or Engineer for clarification.
- Contractor to provide shop drawings for review by Engineer/Architect/Interior Designer for the following but not limited to: steel beams, steel columns, steel connections, casework, trusses.
- Refer to manufactures shop drawings for exact window and door rough openings.

WALL SYSTEMS:

- Typical foundation wall to W-1, u.n.o.
- Typical exterior wall to be Type W-2, u.n.o.
- Typical furring wall to be W-3, u.n.o.
- Typical interior walls to be either W-4 or W-5, u.n.o.
- Typical double wall to be W-6, u.n.o.

FLOOR SYSTEMS:

- Lower Level: Concrete slab on Grade on 6 mil. or 3 mil. cross-laminated vapor barrier - See Structural for slab requirements

FRAMING NOTES:

- Provide all necessary blocking in stud cavities in walls and ceiling for the following locations, but not limited to, toilet and bath accessories, wall and ceiling mounted electrical fixtures, window treatments, closet rod and shelf, cabinetry, and countertops.
- All exterior sill plates on concrete to be pressure treated to be separated from concrete with DOW - sill seal.
- Any gaps between sill plate and concrete greater than 1/4" to be shimmed w/ metal shims and to be foamed with expanding urethane.
- Framing gaps not able to be insulated to be foamed with expanding urethane spray foam.
- Window and Door Jamb gaps to be foamed with expanding urethane spray foam.
- All steel located below and exposed to grade to be coated with bituminous damproofing.

DRYWALL AND PAINT:

- All drywall to be shimmed and screwed.
- Drywall to have a Level 4 finish min. No joints, tape marks, screw heads, or patches should be visible. Provide sample for approval.
- Drywall texture to match exist. Provide sample for approval.
- Drywall corners and transitions to match exist.
- Paint to be of high quality acrylic, 2 coats over 1 coat latex primer. Color to be determined by Owner.

MECHANICAL & PLUMBING NOTES:

- All Mechanical Systems to be design-build.
- Coordinate all mechanical to fit within ceiling, floor, and wall cavity spaces.
- Primary heating to be forced air heat from existing system mechanical contractor to verify existing system is sufficient to handle new area.
- Plumbing fixtures and fittings to be chosen by Owner. All finishes are to be the same as main fitting or adjacent fittings. RE: Interior drawings.
- Hot water should be on an insulated hot water re-circulation line and pump.
- Drain lines running in walls adjacent to living spaces to be in cast iron, transitioning to PVC below slab.
- Supply lines should be properly sized and run independently as required to prevent temperature change at the shower when other plumbing fixtures are being used.
- Supply lines whether in-floor or wall, drain traps, or outlets should not be located as to interfere with roll out shelves in base cabinets.
- Mechanical sub-contractor to provide the following information when applying for permit:
 - Design Criteria
 - System specs, including equipment types, sizes, and efficiencies.
 - Equipment and system controls specification/cut sheets.

CODE INFORMATION:

ALL WORK WILL BE COMPLETED IN ACCORDANCE WITH THE LATEST ADOPTED EDITIONS OF THE:
 2018 INTERNATIONAL BUILDING CODE
 2018 INTERNATIONAL RESIDENTIAL CODE
 2018 INTERNATIONAL FIRE CODE
 2018 INTERNATIONAL PLUMBING CODE
 2018 INTERNATIONAL MECHANICAL CODE
 2018 INTERNATIONAL FUEL GAS CODE
 2018 INTERNATIONAL ENERGY CONSERVATION CODE

OCCUPANCY CLASS:

GROUP R3/310.5

TYPE OF CONSTRUCTION:

TYPE VB/602.5
 SEPARATIONS PER R302.5

CLIMATE ZONE:

6B PER N1101.7

THERMAL ENVELOPE:

Prescriptive Method - Equals exterior walls & roof or ceilings @ trusses.

PROJECT INFO:

LOCATION:

cordillera valley club Fil 7 Lot 5
 1844 Ceard Creek Trail
 Edwards, CO 81632

DATUM REFERENCE:

T.O. Plywood 100'-0" = 7247.0' USGS
 LOT ACREAGE - 0.275 Acres
 # OF STORIES - 2

PROJECT DIRECTORY:

OWNER:
 Marty & Hilli Sheck
 1446 Presidential Way
 Miami, FL 33179

ARCHITECT:
 NDG Architecture
 PO Box 634
 Edwards, Co 81632
 (970) 471-0698
 Bill Nutkins, AIA, NCARB
 bnutkins@ndg-inc.com

STRUCTURAL ENGINEER:

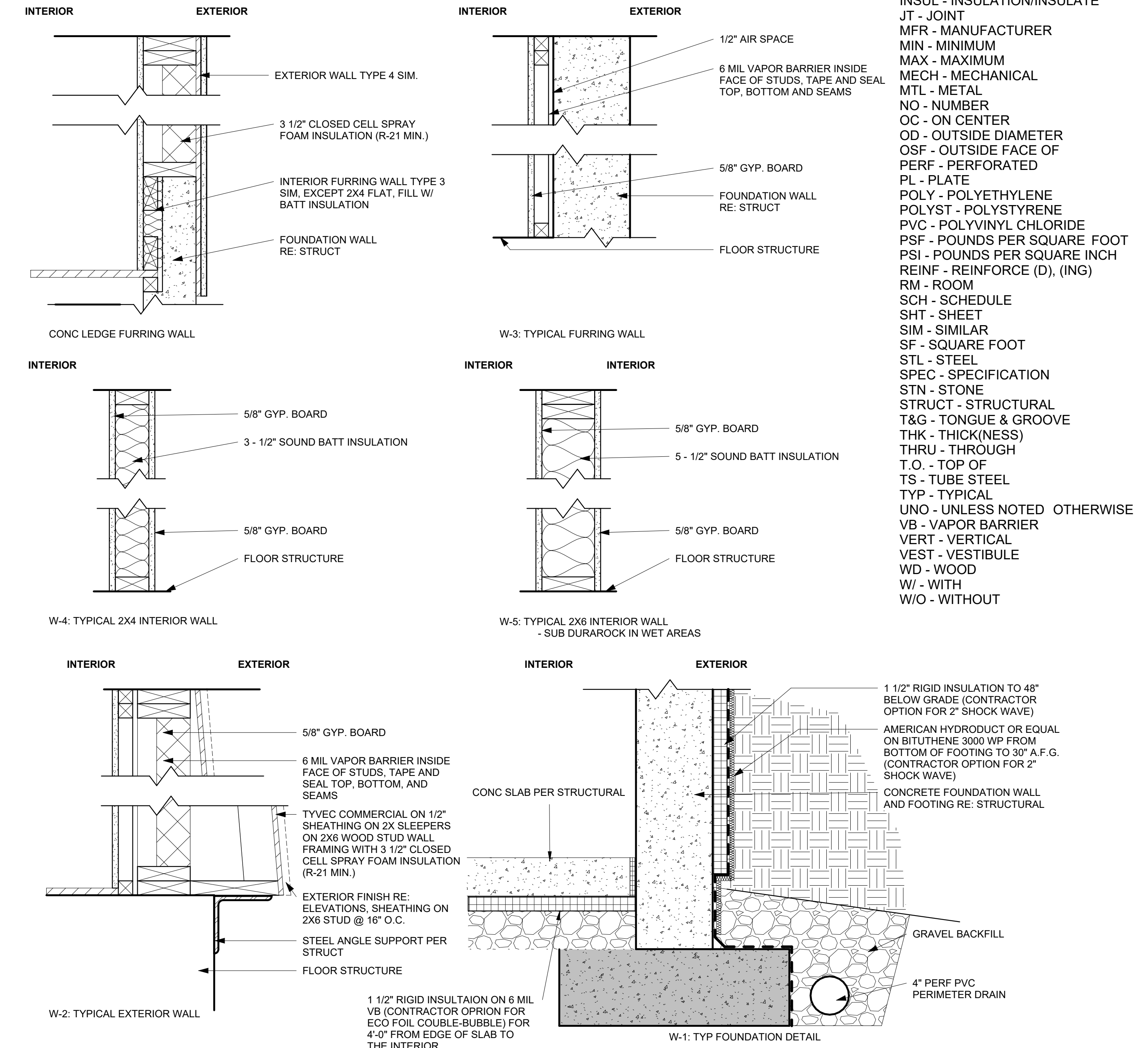
IMEG
 70 Benchmark Road
 Avon, CO 81620
 (970) 949-7768
 Leslie J. Wyse
 Leslie.J.Wyse@imegcorp.com

CONTRACTOR:

Rocky Mountain Creations
 PO Box 484
 Wolcott, CO 81655
 Jimmy DeLong
 jardelong@aol.com

ABBREVIATIONS

AFF - ABOVE FINISHED FLOOR
 ALUM - ALUMINUM
 AB - ANCHOR BOLT
 ARCH - ARCHITECT(URAL)
 BM - BEAM
 BRG - BEARING
 BRD - BOARD
 B.O. - BOTTOM OF
 BLDG - BUILDING
 CLG - CEILING
 CL - CENTER LINE
 C-C - CENTER TO CENTER
 CPT - CARPET
 COL - COLUMN
 CONC - CONCRETE
 CONT - CONTINUOUS, CONTINUE
 CJ - CONTROL JOINT
 DTL - DETAIL
 DIAG - DIAGONAL
 DIA - DIAMETER
 DW - DISHWASHER
 DWG - DRAWING
 EA - EACH
 ELEC - ELECTRIC(AL)
 ELEV - ELEVATION
 EXIST - EXISTING
 EXP - EXPANSION
 EXT - EXTERIOR
 FD - FLOOR DRAIN
 FG - FIBERGLASS
 FF - FINISHED FLOOR
 FT - FEET
 FLUOR - FLUORESCENT
 FP - FIREPLACE
 GA - GAUGE
 GYP - GYPSUM
 GWB - GYPSUM WALL BOARD
 HT - HEIGHT
 HORZ - HORIZONTAL
 HR - HOUR
 HW - HOT WATER
 INSUL - INSULATION/INSULATE
 JT - JOINT
 MFR - MANUFACTURER
 MIN - MINIMUM
 MAX - MAXIMUM
 MECH - MECHANICAL
 MTL - METAL
 NO - NUMBER
 OC - ON CENTER
 OD - OUTSIDE DIAMETER
 OSF - OUTSIDE FACE OF
 PERF - PERFORATED
 PL - PLATE
 POLY - POLYETHYLENE
 POLYST - POLYSTYRENE
 PVC - POLYVINYL CHLORIDE
 PSF - POUNDS PER SQUARE FOOT
 PSI - POUNDS PER SQUARE INCH
 REINF - REINFORCE (D), (ING)
 RM - ROOM
 SCH - SCHEDULE
 SHT - SHEET
 SIM - SIMILAR
 SF - SQUARE FOOT
 STL - STEEL
 SPEC - SPECIFICATION
 STN - STONE
 STRUCT - STRUCTURAL
 T&G - TONGUE & GROOVE
 THK - THICK(NESS)
 THRU - THROUGH
 T.O. - TOP OF
 TS - TUBE STEEL
 TYP - TYPICAL
 UNO - UNLESS NOTED OTHERWISE
 VB - VAPOR BARRIER
 VERT - VERTICAL
 VEST - VESTIBULE
 WD - WOOD
 W/ - WITH
 W/O - WITHOUT



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Drawing Name
GENERAL NOTES
& WALL TYPES

No.	Date	Revision

A001



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1846 BEARD CREEK TRAIL, EDWARDS, CO 81632

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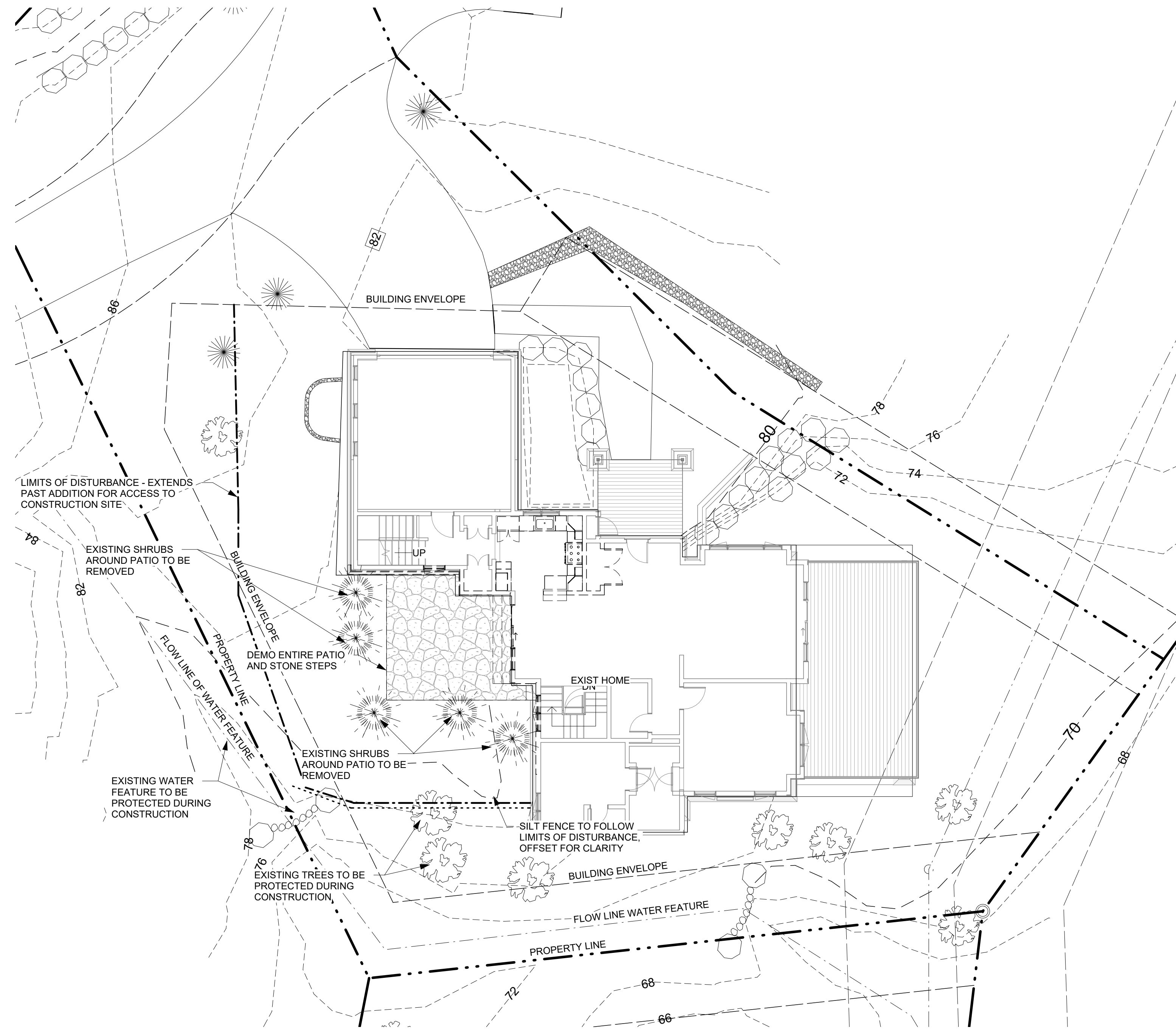
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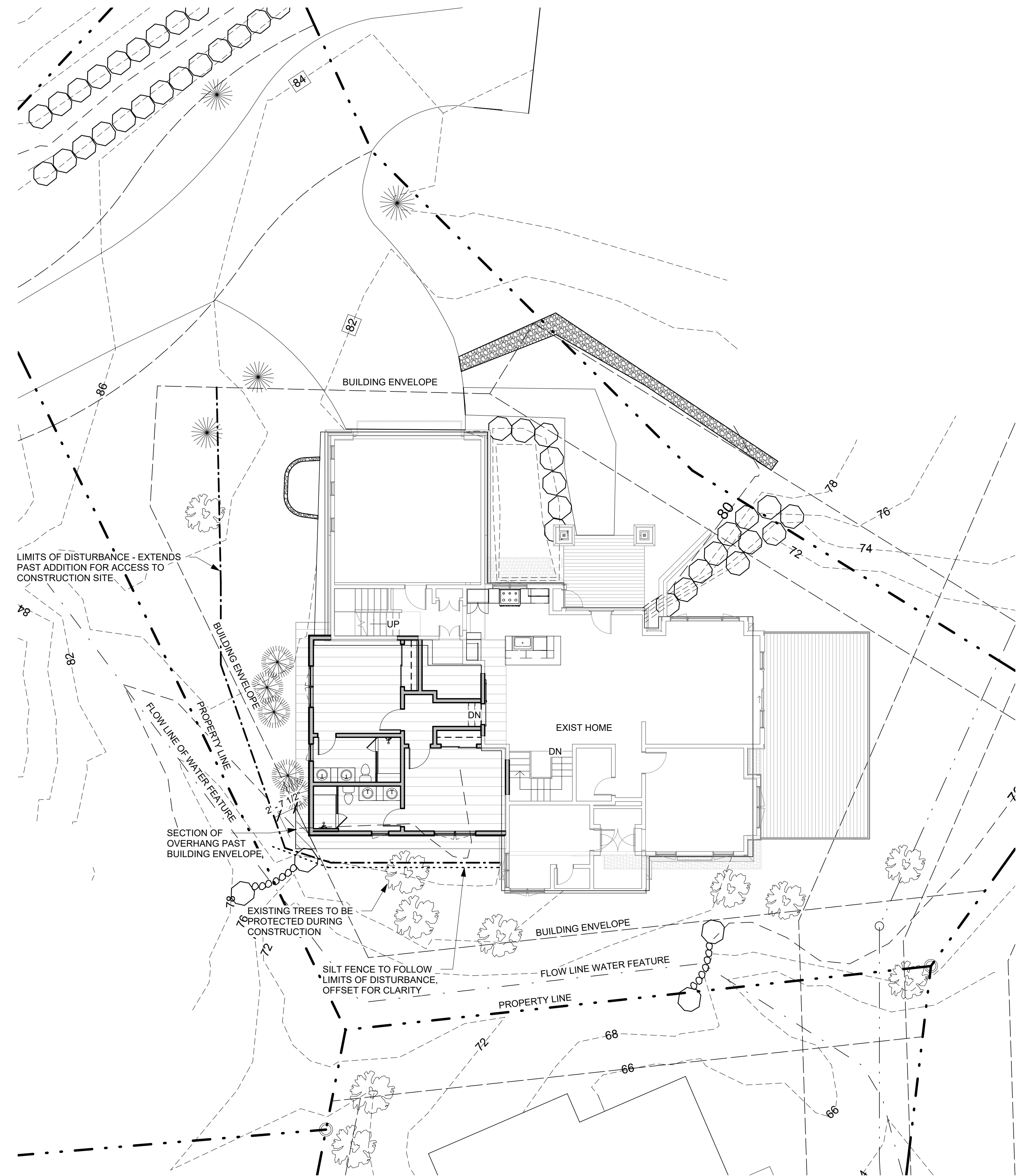
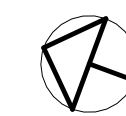
Drawing Name
PHOTOS

Revision	No.	Date

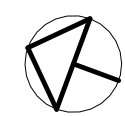
A002



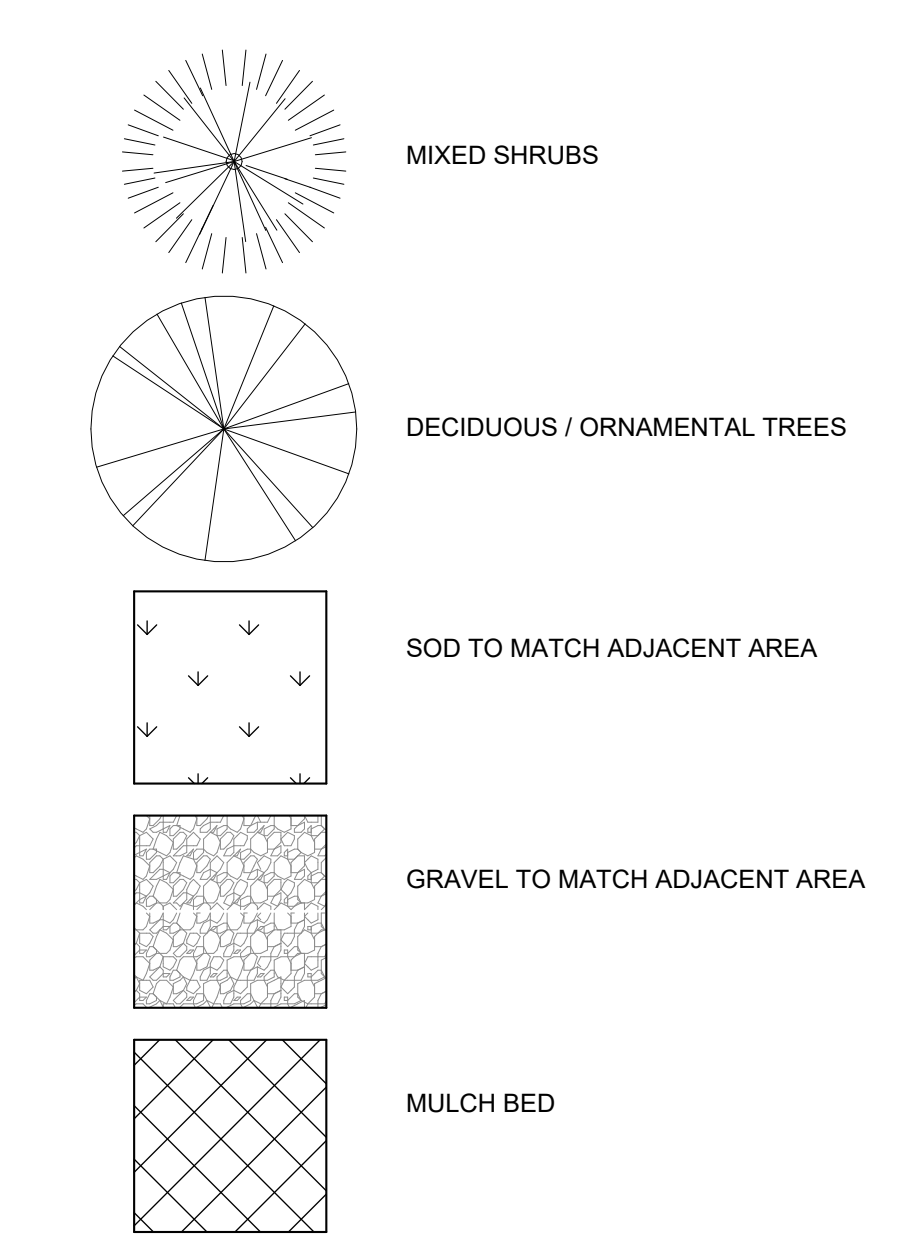
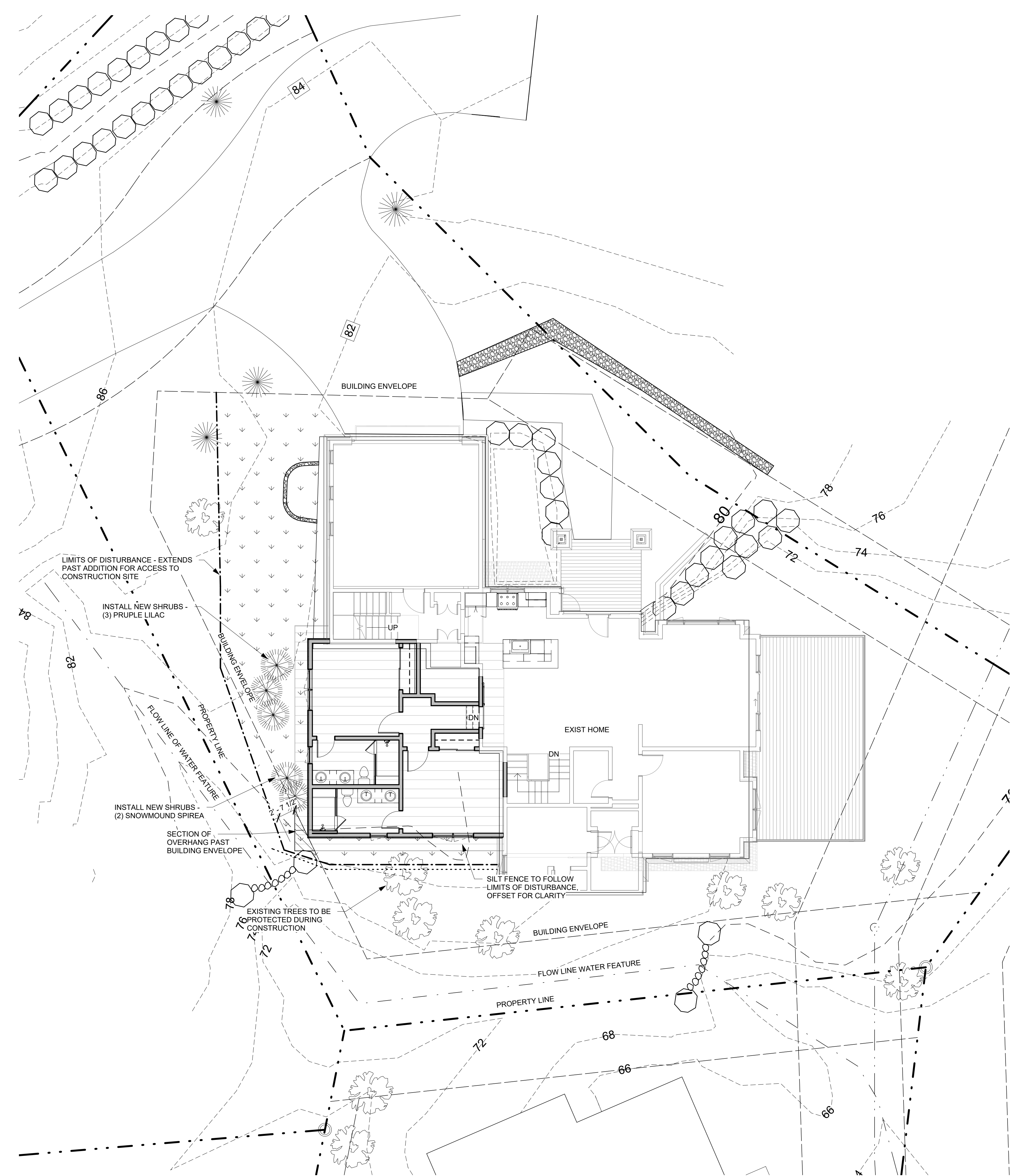
1 EXIST SITE PLAN
1" = 10'-0"



2 PROPOSED SITE PLAN
1" = 10'-0"

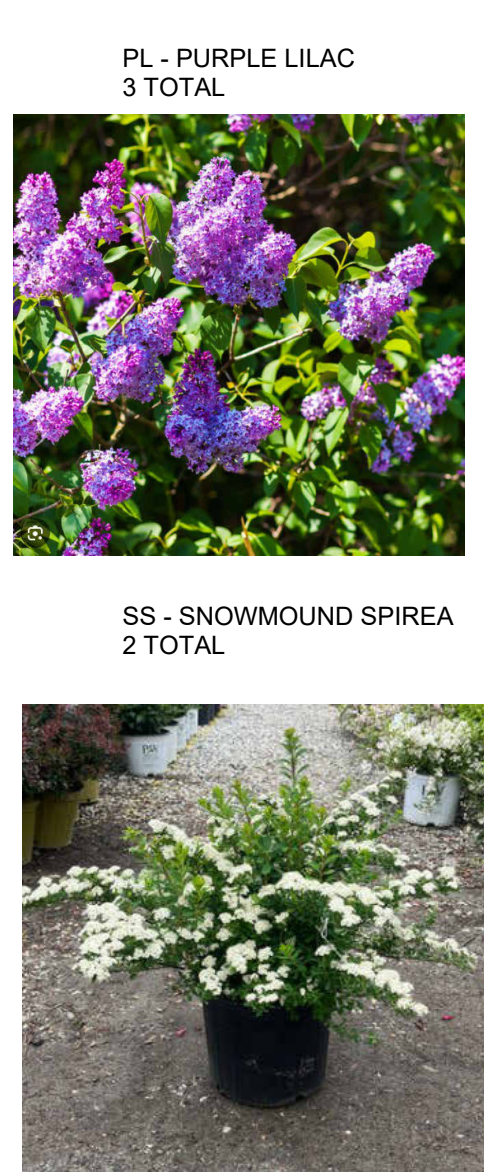


Revision No.	Date



* LANDSCAPE PLAN IS PRELIMINARY.

LANDSCAPE LEGEND
1/4" = 1'-0"



1 PROPOSED LANDSCAPE PLAN
1/8" = 1'-0"

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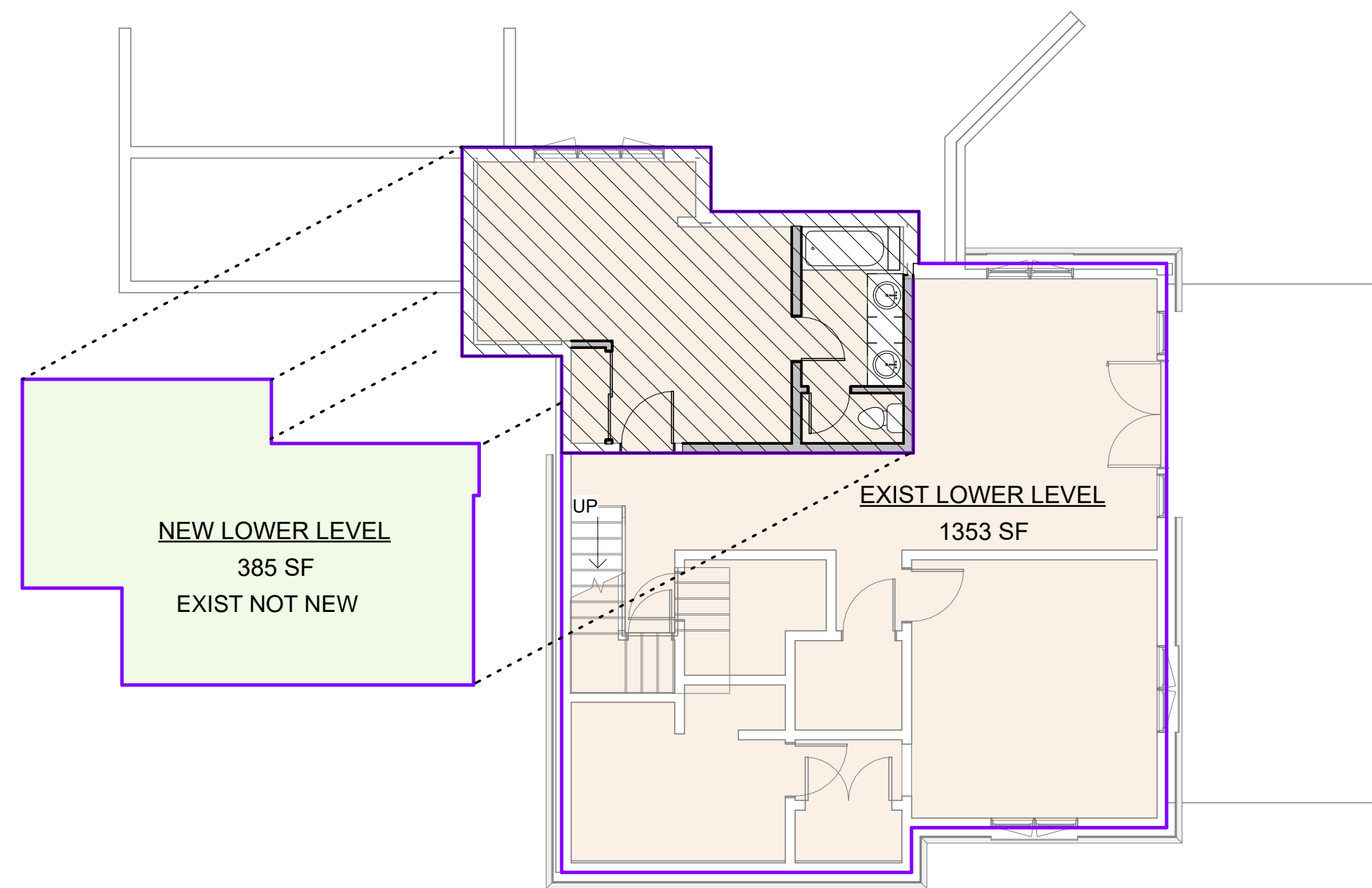
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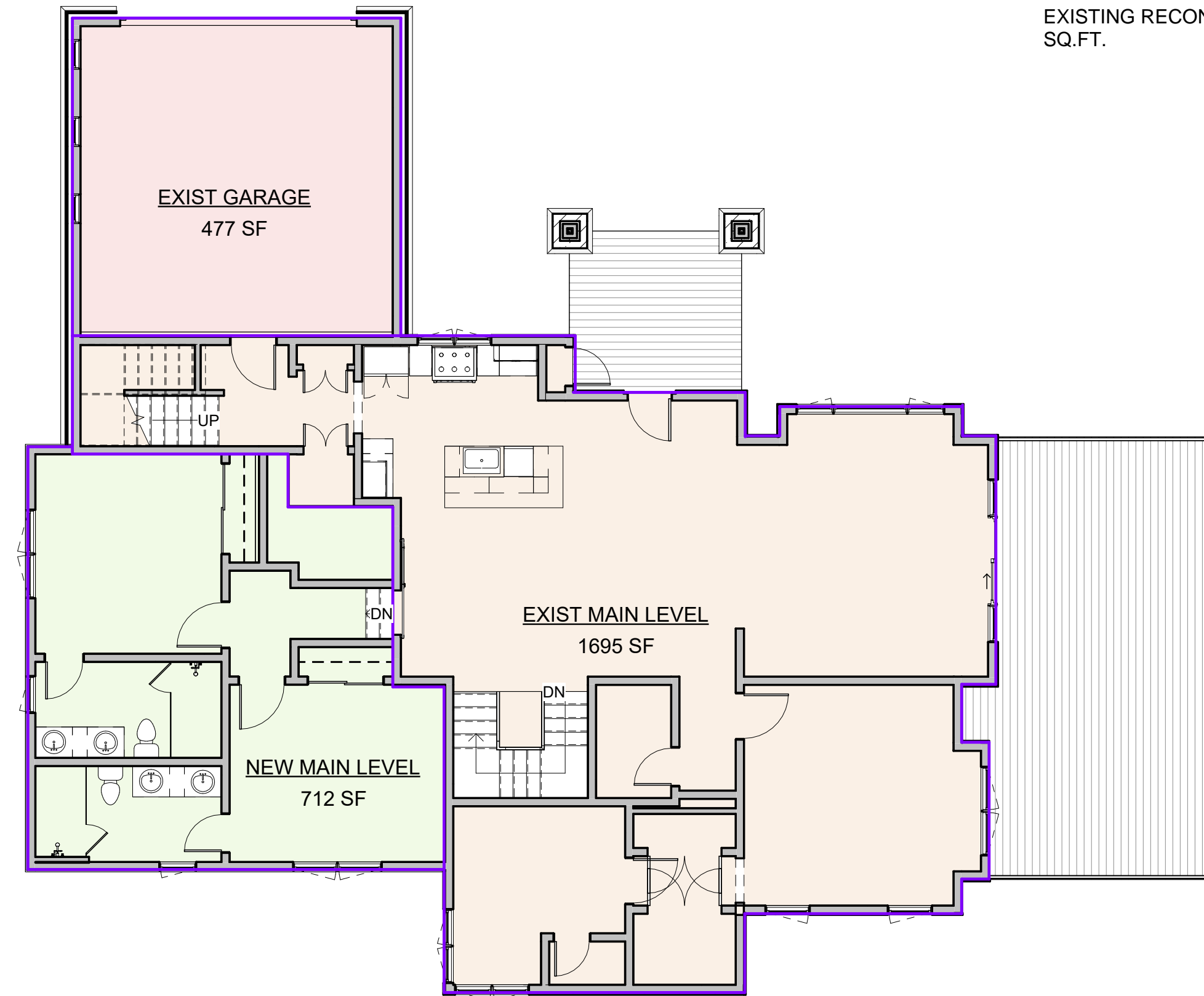
Drawing Name
LANDSCAPE PLAN

Revision	No.	Date

A103



① LOWER LEVEL - AREA PLAN
1/8" = 1'-0"



② MAIN LEVEL - AREA PLAN
1/8" = 1'-0"

EXISTING RECONFIGURED
SQ.FT.

EXISTING AREA SCHEDULE	
Name	Area

EXIST LOWER LEVEL	1353 SF
EXIST MAIN LEVEL	1695 SF
Grand total: 2	3048 SF

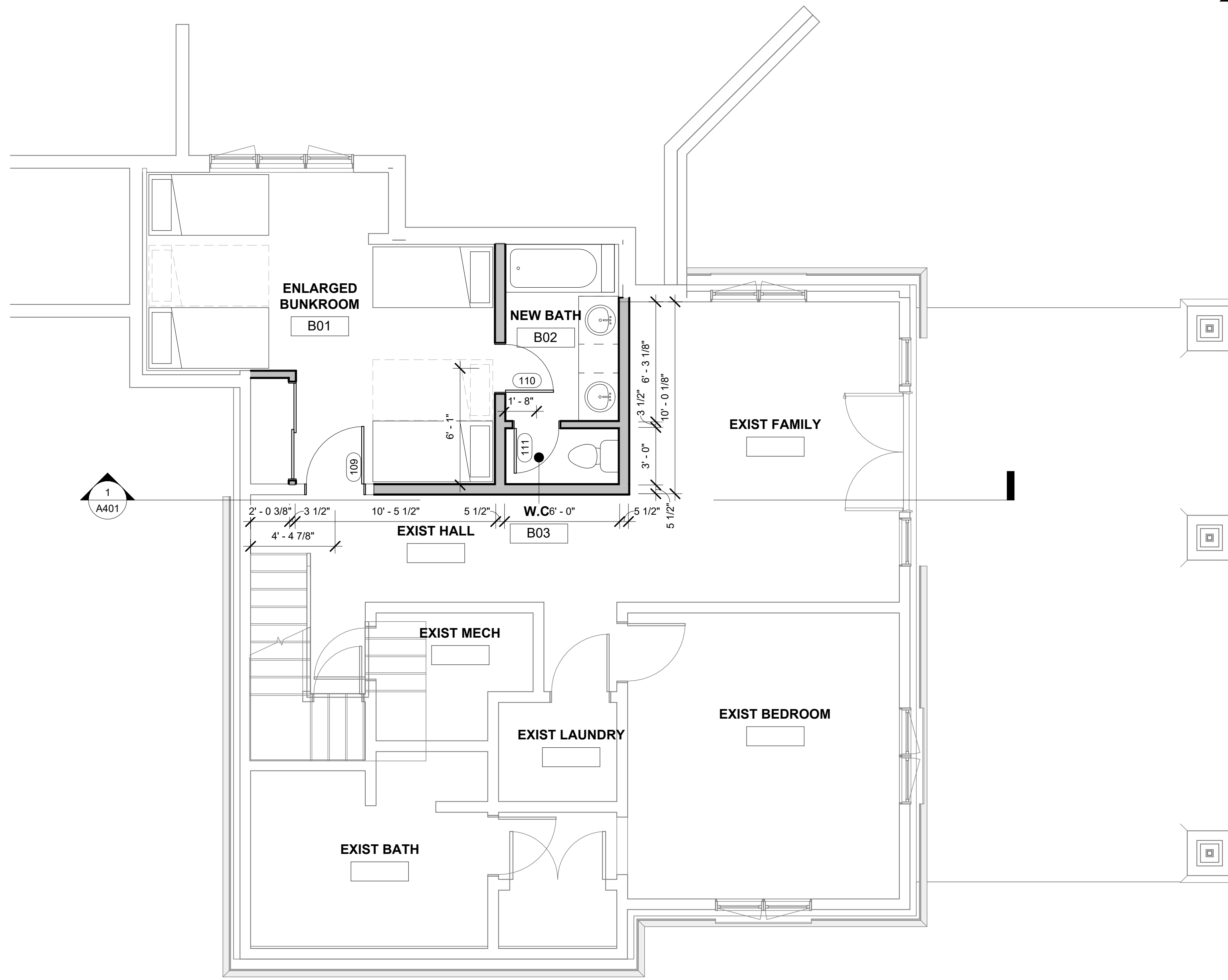
NEW AREA SCHEDULE	
Name	Area

NEW LOWER LEVEL	385 SF
NEW MAIN LEVEL	712 SF
Grand total: 2	1098 SF

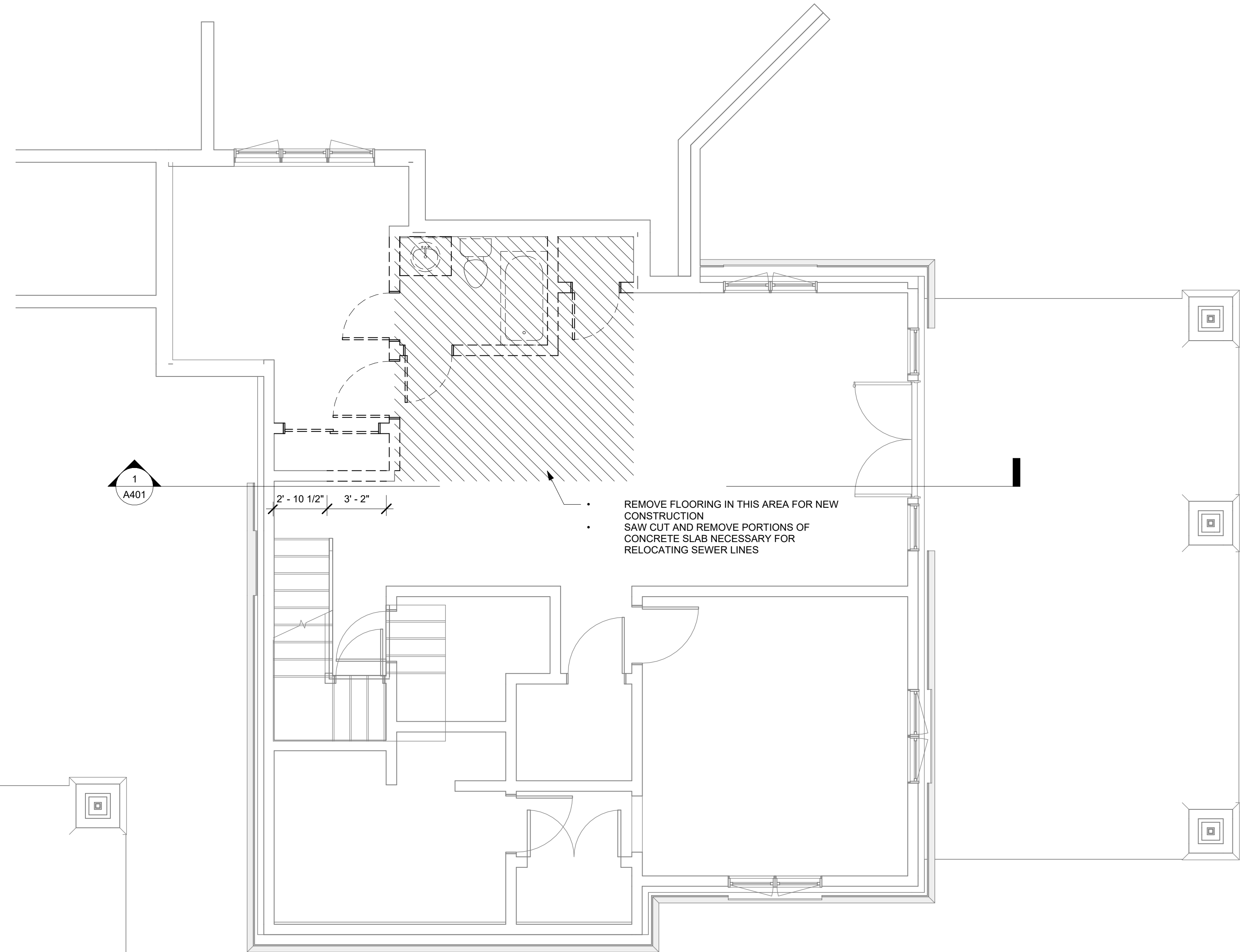
No.	Date

GENERAL NOTES:

1. ALL WALL TYPES ARE AS FOLLOWED UNLESS NOTED OTHERWISE (SEE SHEET A001)
 - A. EXTERIOR WALLS ARE OF TYPE 2
 - B. INTERIOR 2X6 WALLS TO BE TYPE 5
 - C. INTERIOR 2X4 WALLS TO BE TYPE 4
 - D. INTERIOR WALLS TO RECEIVE PLUMBING TO BE TYPE 5
 - E. INTERIOR WALLS IN WET AREAS ARE TO SUBSTRATE 5/8" GYP FOR 5/8" GMMU.
2. SUBSTITUTE 5/8" TYPE "X" GYP. BOARD FOR 5/8" GYP. BOARD ON WALLS AND CEILING FOR ONE HOUR RATING IN GARAGE.
3. REFER TO INTERIOR DRAWINGS FOR CASEWORK LAYOUT AND ELEVATIONS. CONTRACTOR TO PROVIDE FINAL DRAWINGS FROM CABINET COMPANY FOR APPROVAL BY OWNER & ARCHITECT.
4. CLOSET NOTES: (RE: INTERIOR ELEVATIONS)
 - A. CLOSET LAYOUT IS GENERAL AND FINAL DESIGN SHOULD BE VERIFIED WITH OWNER.
 - B. DOUBLE LINES INDICATE DOUBLE HANGING, SINGLE LINES INDICATE SINGLE HANGING.
 - C. ALL SHELVES AND DIVIDER TO BE PAINTED AC PLYWOOD OR SOLID WD WITH 1X2 EDGE. SPECIES TBD.
 - D. CLEATS TO BE 1X2 CLEAR PINE.
 - E. PROVIDE ROD SUPPORTS AT 36" O.C.
5. TYPICAL CEILING HEIGHT IS BOTTOM OF STRUCTURE UNLESS NOTED OTHERWISE. RE: REFLECTED CEILING PLANS
6. TYPICAL CEILING IS GYPSUM BOARD UNLESS NOTED OTHERWISE.
7. DOORS FRAMED TYPICALLY 6" FROM ADJACENT WALL ON CASE WORK U.N.O.



② LOWER LEVEL PROPOSED PLAN
1/4" = 1'-0"



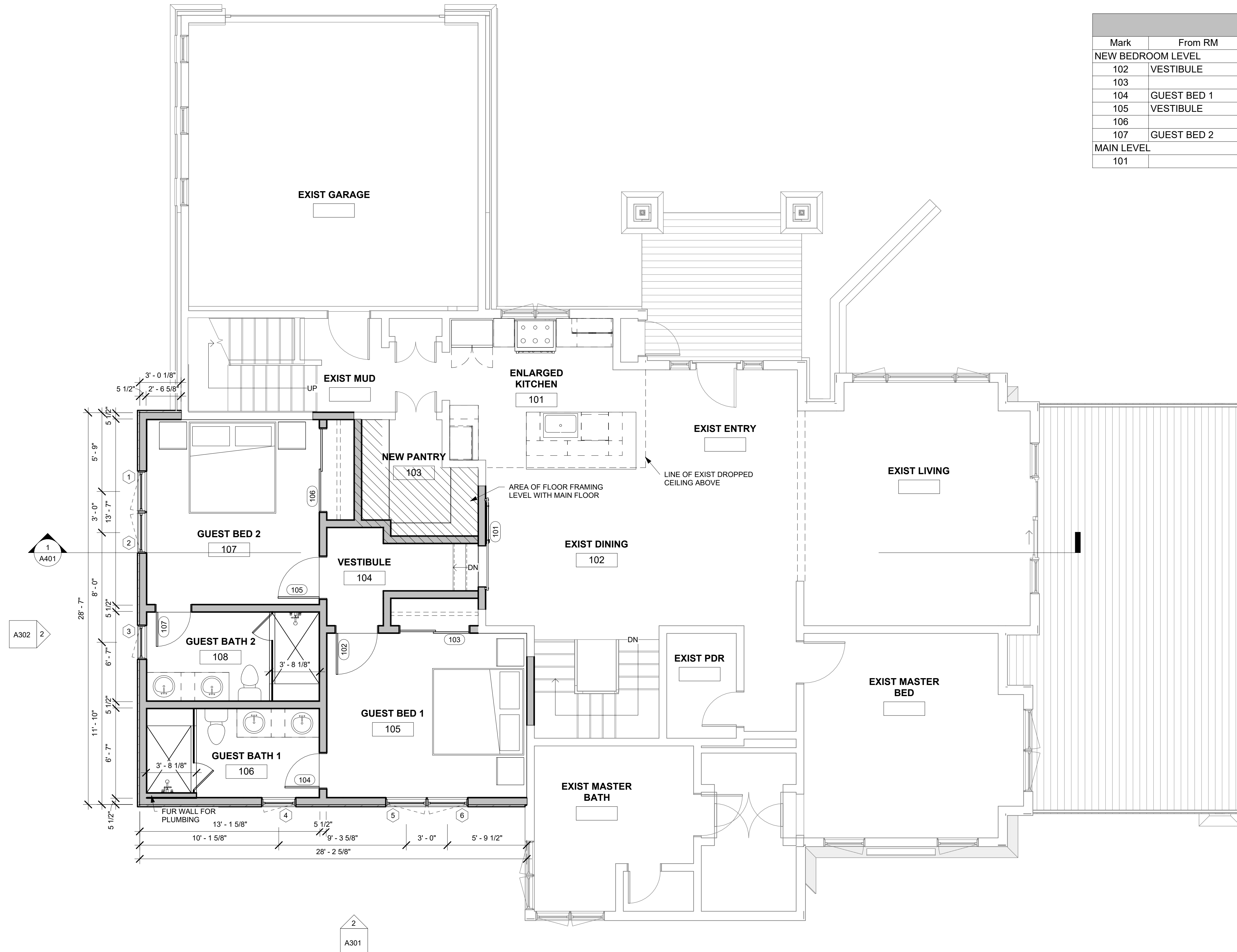
① LOWER LEVEL DEMO PLAN
1/4" = 1'-0"

REMOVE FLOORING IN THIS AREA FOR NEW CONSTRUCTION
SAW CUT AND REMOVE PORTIONS OF CONCRETE SLAB NECESSARY FOR RELOCATING SEWER LINES

DEMOLITION DEFINITIONS AND NOTES:

1. **REMOVE:** DETACH ITEMS FROM EXISTING CONSTRUCTION AND LEGALLY DISPOSE OF THEM OFF SITE. UNLESS OTHERWISE INDICATED TO BE REMOVED AND SALVAGED OR REMOVED AND RE-INSTALLED.
2. **SALVAGE:** DETACH ITEMS FROM EXISTING CONDITIONS AND RETURN TO OWNER READY FOR RE-USE.
3. **REMOVE AND RE-INSTALL:** DETACH ITEMS FROM EXISTING CONDITIONS, PREPARE FOR RE-USE, TEMPORARY STORE AS REQUIRED AND RE-INSTALL AS INDICATED.
4. **EXISTING:** EXISTING ITEMS OF CONSTRUCTION WHICH ARE NOT TO BE REMOVED AND ARE NOT OTHERWISE INDICATED TO BE REMOVED, SALVAGED, OR REMOVED AND RE-INSTALLED.
5. DRAWINGS ATTEMPT TO SHOW EXISTING CONDITIONS. ALL EXISTING CONDITIONS MAY NOT BE SHOWN OR VISIBLE ON SITE. CARE MUST BE TAKEN TO ABANDON, TURN OFF, OR OTHERWISE SECURE EXISTING ELEMENTS THAT NEED TO BE REMOVED WITH REMOVED STRUCTURE.
6. EXTERIOR SIDING TO BE REMOVED FULLY DOWN TO EXTERIOR SHEATHING IN AREA OF REMODEL AN PREP FOR NEW FRAMING AND FINISH.
7. REMOVE ALL CASEWORK, PLUMBING FIXTURES, AND APPLIANCES IN KITCHEN SALVAGE ALL APPLIANCES FOR RE-USE.
8. ALL PLUMBING AND ELECTRICAL IN DEMO'D AREAS NOT BEING RE-USED IS TO BE TERMINATED IN ADJACENT WALL, CEILING OR FLOOR.
9. CONTRACTOR TO NOTIFY ARCHITECT WITH ANY & ALL CONFLICTS WITH DRAWINGS.

No.	Date



② MAIN LEVEL PROPOSED PLAN
1/4" = 1'-0"

Window Schedule									
Mark	Room Number	Room Location	Width	Height	Operation	Mulled	Egress	Tempered	Comments
NEW BEDROOM LEVEL									
1			3' - 0"	4' - 6"	RH	Yes	Yes		MULLED W/ #2
2			3' - 0"	4' - 6"	LH	Yes	Yes		MULLED W/ #1
3			2' - 6"	3' - 0"	RH	No	No	Yes	
4			2' - 6"	3' - 0"	LH	No	No	Yes	
5			3' - 0"	4' - 6"	RH	Yes	No		
6			3' - 0"	4' - 6"	LH	Yes	Yes		MULLED W/ #5

Door Schedule					
Mark	From RM	To RM	Width	Height	Comments
NEW BEDROOM LEVEL					
102	VESTIBULE	GUEST BED 1	3' - 0"	7' - 0"	
103		GUEST BED 1	5' - 0"	7' - 0"	BY-PASS CLOSET
104	GUEST BED 1	GUEST BATH 1	2' - 6"	7' - 0"	
105	VESTIBULE	GUEST BED 2	3' - 0"	7' - 0"	
106		GUEST BED 2	6' - 0"	8' - 0"	BY-PASS CLOSET
107	GUEST BED 2	GUEST BATH 2	2' - 6"	7' - 0"	
MAIN LEVEL					
101		VESTIBULE	3' - 0"	8' - 0"	BARN DOOR

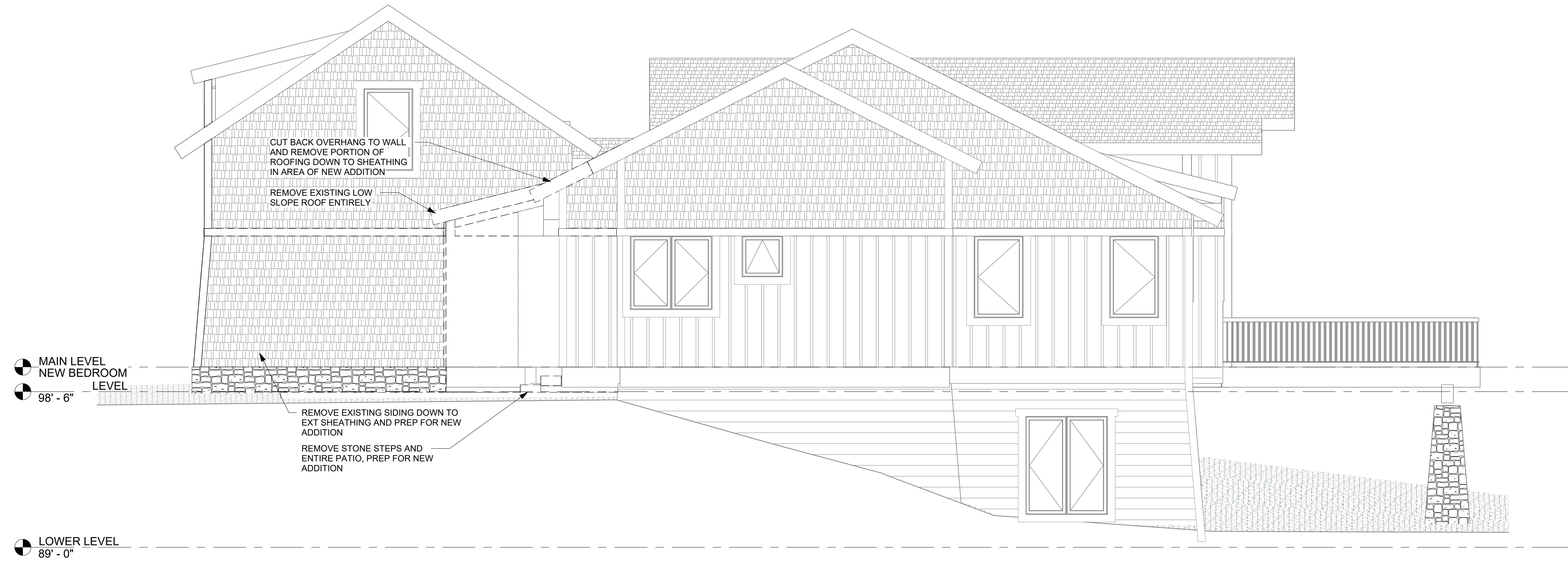
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 - CLEATS TO BE 1X2 CLEAR PINE.
 - PROVIDE ROD SUPPORTS AT 36" O.C.
 - TYPICAL CEILING HEIGHT IS BOTTOM OF STRUCTURE UNLESS NOTED OTHERWISE. RE: REFLECTED CEILING PLANS
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 - DOORS FRAMED TYPICALLY 6" FROM ADJACENT WALL ON CASE WORK U.N.O.

Revision	No.	Date

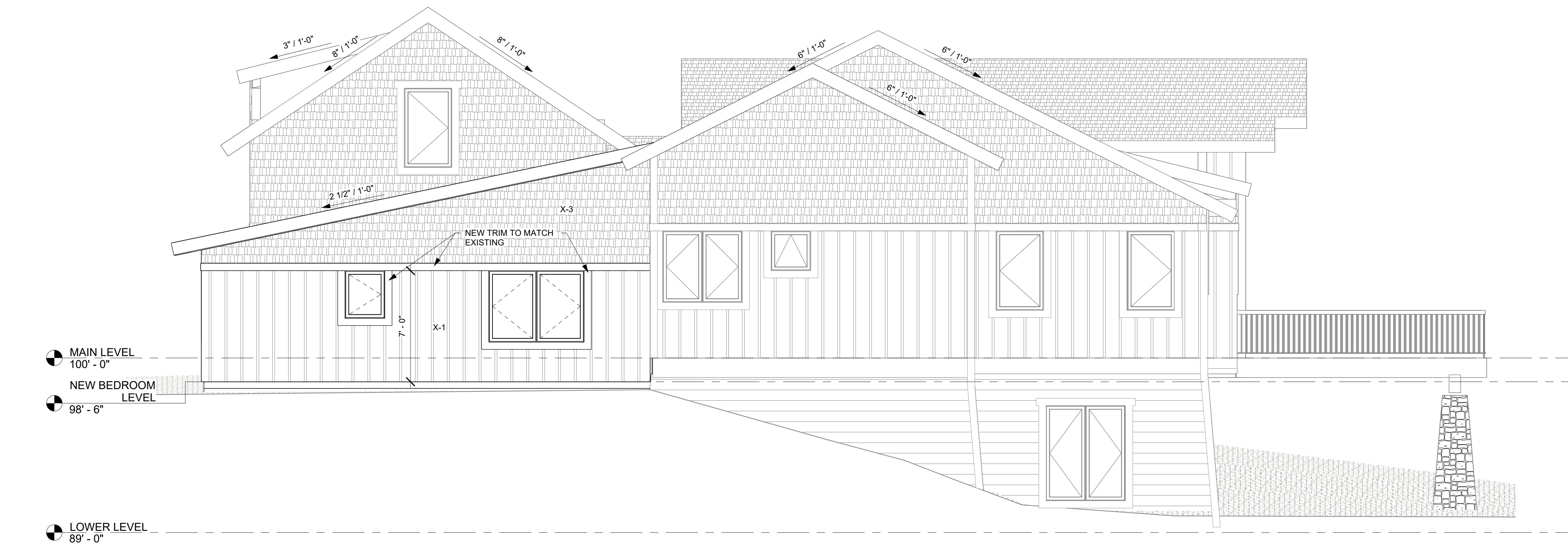


1 ROOF PROPOSED PLAN
 1/4" = 1'-0"

Revision	No.	Date



① EXIST SOUTH ELEVATION
1/4" = 1'-0"



② PROPOSED SOUTH ELEVATION
1/4" = 1'-0"

- EXTERIOR FINISH**
- X-1 DRY STACK STONE VENEER TO MATCH EXIST
 - X-2 SLANTED HORIZONTAL WD SIDING TO MATCH EXIST
 - X-3 SHINGLE SIDING TO MATCH EXISTING
- DOORS & WINDOWS - METAL CLAD WINDOWS, COLOR - TO MATCH EXIST**
- HEAD TRIM 2X6 WD TO MATCH EXIST
 - JAMB TRIM 2X6 WD TO MATCH EXIST
 - SILL TRIM 2X6 TO MATCH EXIST
 - FASCIA TO MATCH EXIST
 - BEAMS 6X14 WD, TO MATCH EXIST
 - COLUMNS HSS PER STRUCT W/ STONE WRAPPED WD FRAMING
 - CORNER BOARDS 2X6 TO MATCH EXIST

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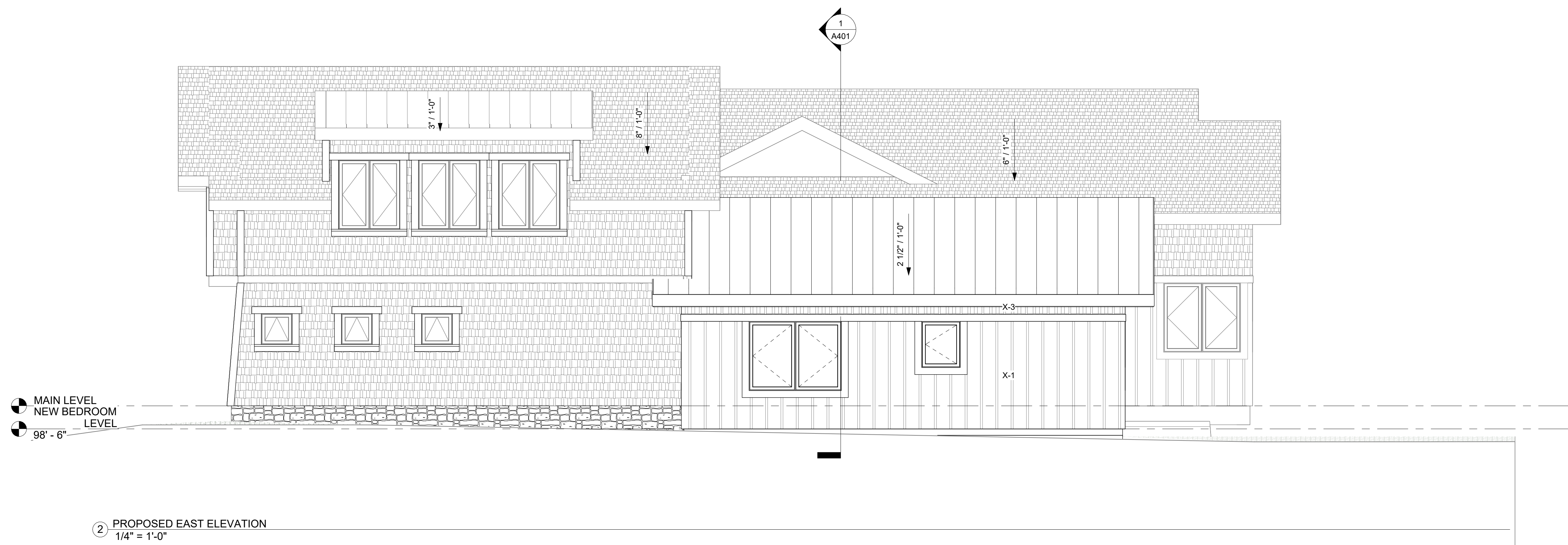
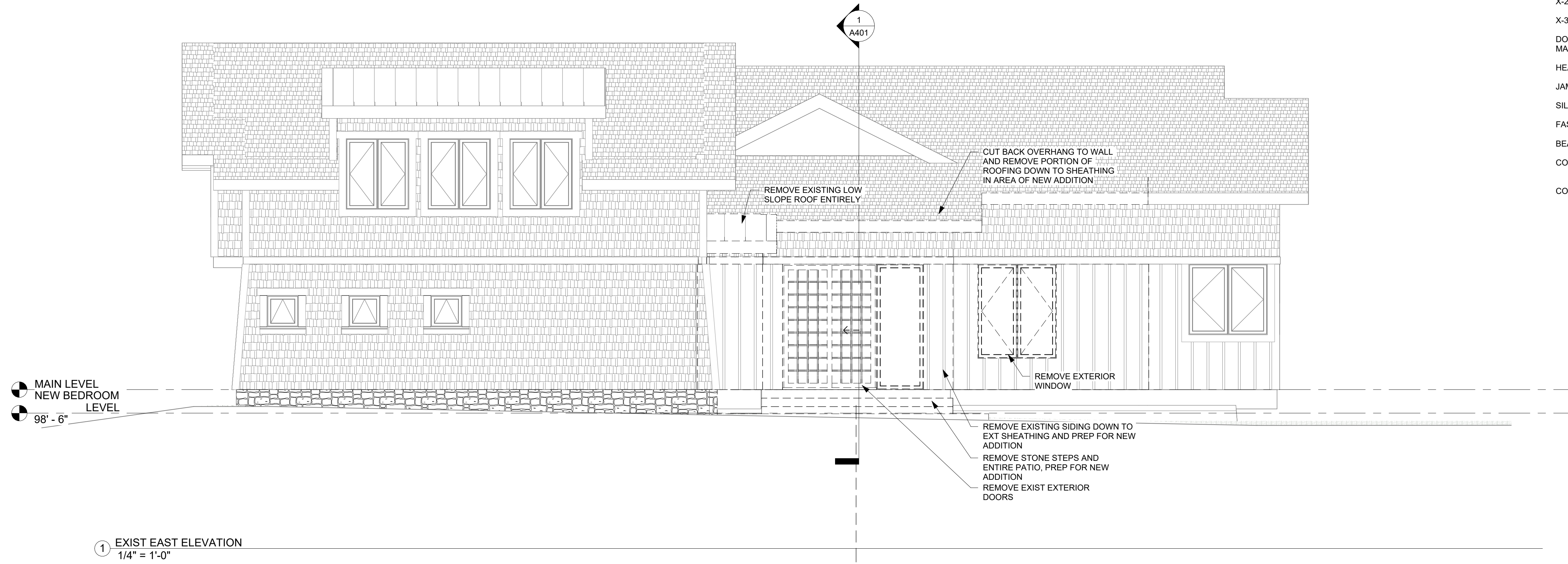
Cusom Home Addition
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Drawing Name
SOUTH EXT. ELEVATIONS

Revision	No.	Date

A301



- EXTERIOR FINISH**
- X-1 DRY STACK STONE VENEER TO MATCH EXIST
 - X-2 SLANTED HORIZONTAL WD SIDING TO MATCH EXIST
 - X-3 SHINGLE SIDING TO MATCH EXISTING
- DOORS & WINDOWS - METAL CLAD WINDOWS, COLOR - TO MATCH EXIST**
- HEAD TRIM 2X6 WD TO MATCH EXIST
 - JAMB TRIM 2X6 WD TO MATCH EXIST
 - SILL TRIM 2X6 TO MATCH EXIST
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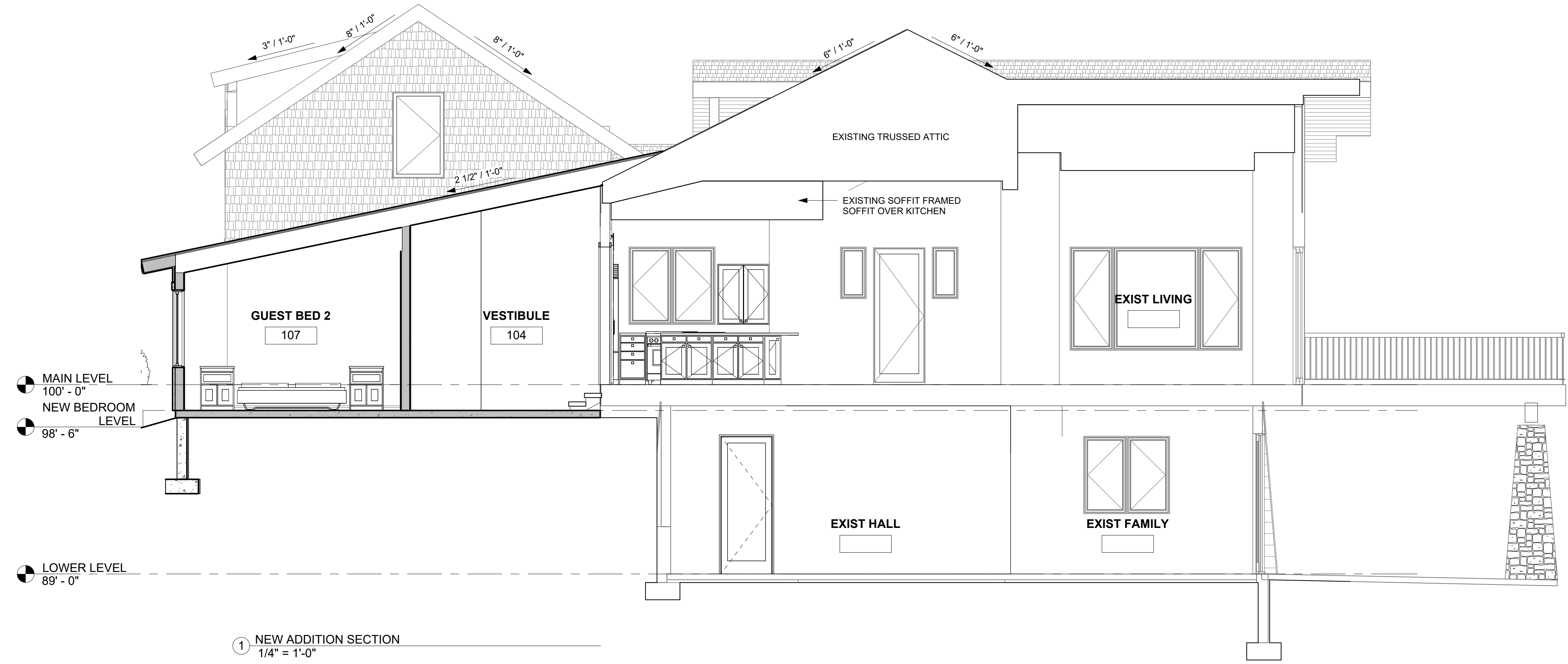
Job #
2024-020

Issue Date
DRB Submittal - 01/06/2025

Drawing Name
EAST EXT. ELEVATIONS

Revision	No.	Date

A302



Revision	No.	Date

NOT FOR CONSTRUCTION
SEAL

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Drawing Name
CONSTRUCTION
DETAILS

Revision	No.	Date

A501

