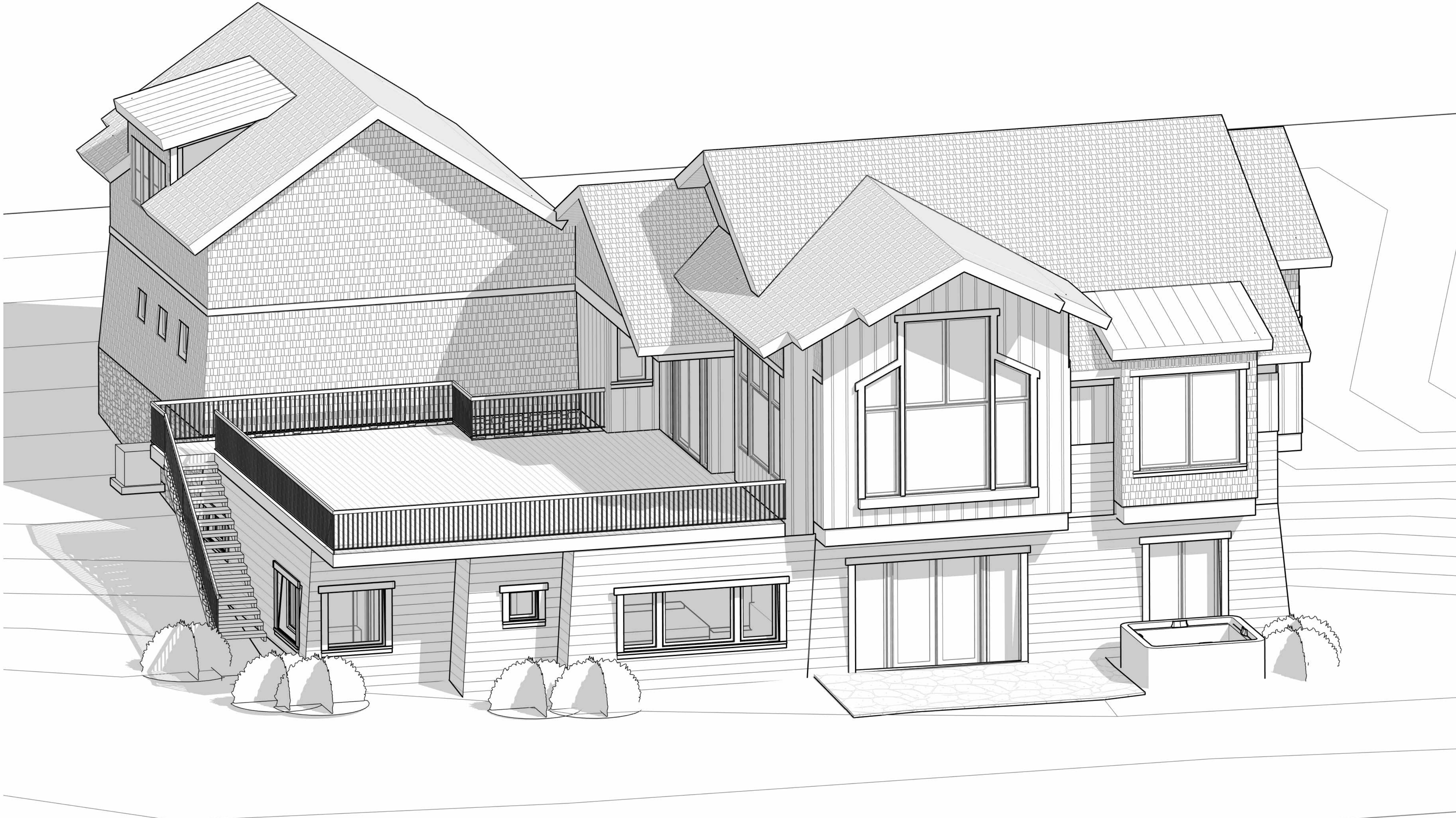


LOWER LEVEL / DECK ADDITION

CORDILLERA VALLEY CLUB FIL 7 LOT 3
1912 BEARD CREEK TRAIL
EDWARD, CO 81632

DATE: 1-6-2025



NDG
ARCHITECTURE

NOT FOR
CONSTRUCTION
SEAL

ADDITION
CORDILLERA VALLEY CLUB FIL 7 LOT 3
1912 BEARD CREEK TRAIL
EDWARDS, CO 81632

Job #
2024-021

Issue Date
T.B.D.

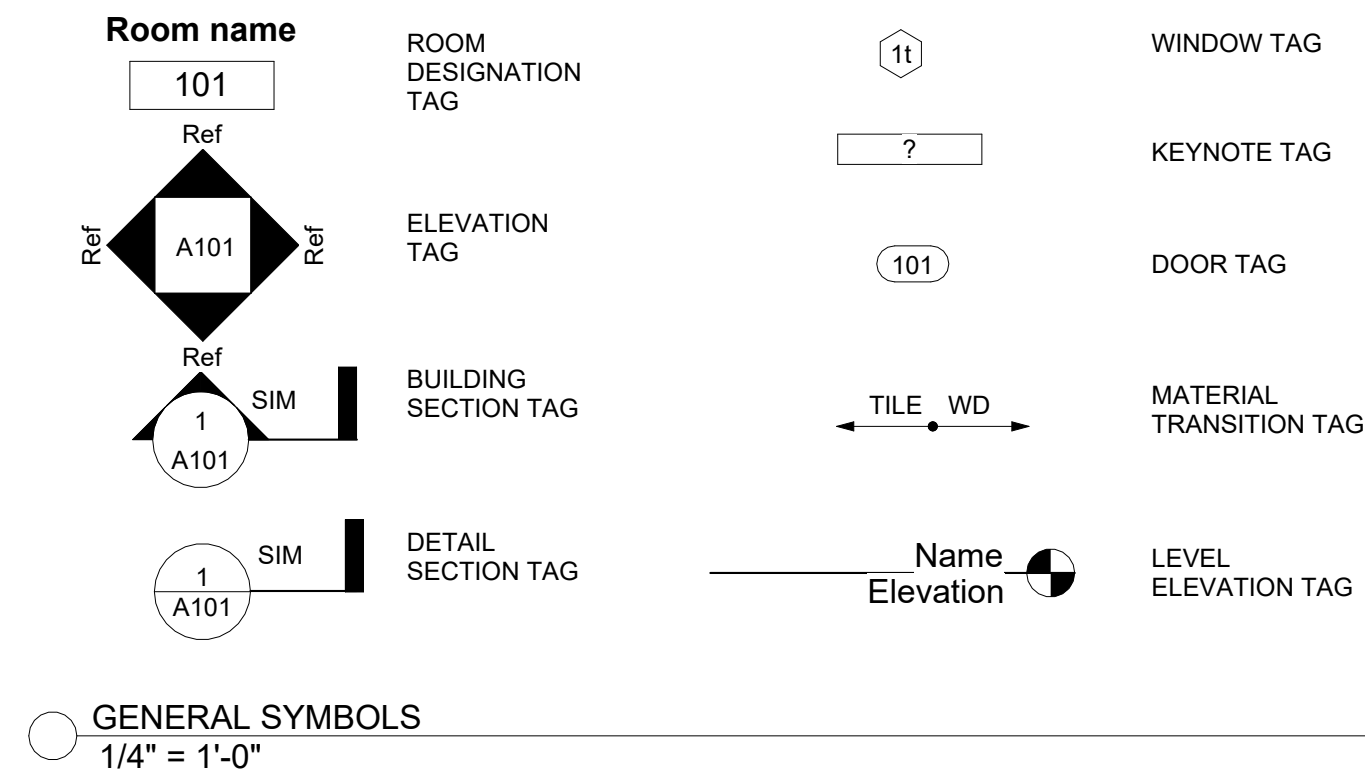
Drawing Name
COVER

Revision	No.	Date

A000

Sheet List	
Sheet Number	Sheet Name
A104	EASEMENT ENCROACHMENT EXHIBIT
A000	COVER
A001	GENERAL NOTES & WALL TYPES
A002	PHOTOS
A100	SURVEY
A101	SITE PLAN
A103	LANDSCAPE PLAN
A200	AREA PLANS
A201	LOWER LEVEL PLANS
A202	MAIN LEVEL PLANS
A301	SOUTH EXT. ELEVATIONS
A302	EAST EXT. ELEVATIONS
A401	BUILDING SECTIONS
A501	CONSTRUCTION DETAILS

GENERAL SYMBOLS



GENERAL NOTES:

- Do not scale drawings.
- Dimensions to face of stud and/or concrete foundation unless noted otherwise.
- Thorough effort is made to provide a complete and clear set of construction documents. In the case of discrepancies, omissions, or missing information required to complete construction Contractor to contact Architect and/or Engineer for clarification.
- Contractor to provide shop drawings for review by Engineer/Architect/Interior Designer for the following but not limited to: steel beams, steel columns, steel connections, casework, trusses.
- Refer to manufactures shop drawings for exact window and door rough openings.

WALL SYSTEMS:

- Typical foundation wall to W-1, u.n.o.
- Typical exterior wall to be Type W-2, u.n.o.
- Typical furring wall to be W-3, u.n.o.
- Typical interior walls to be either W-4 or W-5, u.n.o.
- Typical double wall to be W-6, u.n.o.

FLOOR SYSTEMS:

- Lower Level: Concrete slab on Grade on 6 mil. or 3 mil. cross-laminated vapor barrier - See Structural for slab requirements

FRAMING NOTES:

- Provide all necessary blocking in stud cavities in walls and ceiling for the following locations, but not limited to, toilet and bath accessories, wall and ceiling mounted electrical fixtures, window treatments, closet rod and shelf, cabinetry, and countertops.
- All exterior sill plates on concrete to be pressure treated to be separated from concrete with DOW - sill seal.
- Any gaps between sill plate and concrete greater than 1/4" to be shimmed w/ metal shims and to be foamed with expanding urethane.
- Framing gaps not able to be insulated to be foamed with expanding urethane spray foam.
- Window and Door Jamb gaps to be foamed with expanding urethane spray foam.
- All steel located below and exposed to grade to be coated with bituminous damproofing.

DRYWALL AND PAINT:

- All drywall to be shimmed and screwed.
- Drywall to have a Level 4 finish min. No joints, tape marks, screw heads, or patches should be visible. Provide sample for approval.
- Drywall texture to match exist. Provide sample for approval.
- Drywall corners and transitions to match exist.
- Paint to be of high quality acrylic, 2 coats over 1 coat latex primer. Color to be determined by Owner.

MECHANICAL & PLUMBING NOTES:

- All Mechanical Systems to be design-build.
- Coordinate all mechanical to fit within ceiling, floor, and wall cavity spaces.
- Primary heating to be forced air heat from existing system mechanical contractor to verify existing system is sufficient to handle new area.
- Plumbing fixtures and fittings to be chosen by Owner. All finishes are to be the same as main fitting or adjacent fittings. RE: Interior drawings.
- Hot water should be on an insulated hot water re-circulation line and pump.
- Drain lines running in walls adjacent to living spaces to be in cast iron, transitioning to PVC below slab.
- Supply lines should be properly sized and run independently as required to prevent temperature change at the shower when other plumbing fixtures are being used.
- Supply lines whether in-floor or wall, drain traps, or outlets should not be located as to interfere with roll out shelves in base cabinets.
- Mechanical sub-contractor to provide the following information when applying for permit:
 - Design Criteria
 - System specs, including equipment types, sizes, and efficiencies.
 - Equipment and system controls specification/cut sheets.

CODE INFORMATION:

ALL WORK WILL BE COMPLETED IN ACCORDANCE WITH THE LATEST ADOPTED EDITIONS OF THE:
2018 INTERNATIONAL BUILDING CODE
2018 INTERNATIONAL RESIDENTIAL CODE
2018 INTERNATIONAL FIRE CODE
2018 INTERNATIONAL PLUMBING CODE
2018 INTERNATIONAL MECHANICAL CODE
2018 INTERNATIONAL FUEL GAS CODE
2018 INTERNATIONAL ENERGY CONSERVATION CODE

OCCUPANCY CLASS:

GROUP R3/310.5

TYPE OF CONSTRUCTION:

TYPE VB/602.5
SEPARATIONS PER R302.5

CLIMATE ZONE:

6B PER N1101.7

THERMAL ENVELOPE:

Prescriptive Method - Equals exterior walls & roof or ceilings @ trusses.

PROJECT INFO:

LOCATION:

cordillera valley club Fil 7 Lot 5
1844 Ceard Creek Trail
Edwards, CO 81632

DATUM REFERENCE:

T.O. Plywood 100'-0" = 7247.0' USGS
LOT ACREAGE - 0.275 Acres
OF STORIES - 2

PROJECT DIRECTORY:

OWNER:
Marty & Hilli Sheck
1446 Presidential Way
Miami, FL 33179

ARCHITECT:
NDG Architecture
PO Box 634
Edwards, Co 81632
(970) 471-0698
Bill Nutkins, AIA, NCARB
bnutkins@ndg-inc.com

STRUCTURAL ENGINEER:

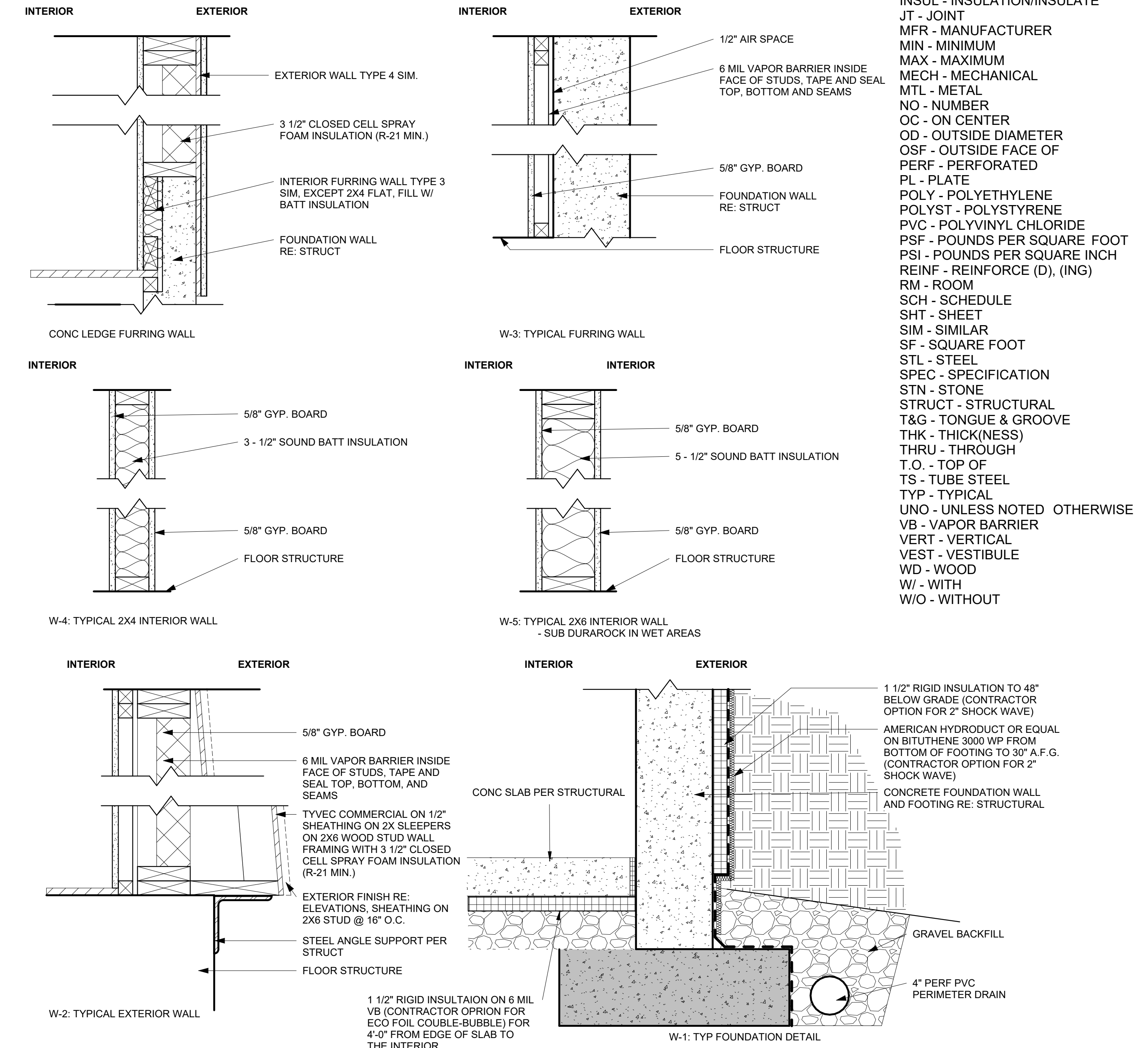
IMEG
70 Benchmark Road
Avon, CO 81620
(970) 949-7768
Leslie J. Wyse
Leslie.J.Wyse@imegcorp.com

CONTRACTOR:

Rocky Mountain Creations
PO Box 484
Wolcott, CO 81655
Jimmy DeLong
jardelong@aol.com

ABBREVIATIONS

AFF - ABOVE FINISHED FLOOR
ALUM - ALUMINUM
AB - ANCHOR BOLT
ARCH - ARCHITECT(URAL)
BM - BEAM
BRG - BEARING
B.O. - BOARD
B.O. - BOTTOM OF
BLDG - BUILDING
CLG - CEILING
CL - CENTER LINE
C-C - CENTER TO CENTER
CPT - CARPET
COL - COLUMN
CONC - CONCRETE
CONT - CONTINUOUS, CONTINUE
CJ - CONTROL JOINT
DTL - DETAIL
DIAG - DIAGONAL
DIA - DIAMETER
DW - DISHWASHER
DWG - DRAWING
EA - EACH
ELEC - ELECTRIC(AL)
ELEV - ELEVATION
EXIST - EXISTING
EXP - EXPANSION
EXT - EXTERIOR
FD - FLOOR DRAIN
FG - FIBERGLASS
FF - FINISHED FLOOR
FT - FEET
FLUOR - FLUORESCENT
FP - FIREPLACE
GA - GAUGE
GYP - GYPSUM
GWB - GYPSUM WALL BOARD
HT - HEIGHT
HORZ - HORIZONTAL
HR - HOUR
HW - HOT WATER
INSUL - INSULATION/INSULATE
JT - JOINT
MFR - MANUFACTURER
MIN - MINIMUM
MAX - MAXIMUM
MECH - MECHANICAL
MTL - METAL
NO - NUMBER
OC - ON CENTER
OD - OUTSIDE DIAMETER
OSF - OUTSIDE FACE OF
PERF - PERFORATED
PL - PLATE
POLY - POLYETHYLENE
POLYST - POLYSTYRENE
PVC - POLYVINYL CHLORIDE
PSF - POUNDS PER SQUARE FOOT
PSI - POUNDS PER SQUARE INCH
REINF - REINFORCE (D), (ING)
RM - ROOM
SCH - SCHEDULE
SHT - SHEET
SIM - SIMILAR
SF - SQUARE FOOT
STL - STEEL
SPEC - SPECIFICATION
STN - STONE
STRUCT - STRUCTURAL
T&G - TONGUE & GROOVE
THK - THICK(NESS)
THRU - THROUGH
T.O. - TOP OF
TS - TUBE STEEL
TYP - TYPICAL
UNO - UNLESS NOTED OTHERWISE
VB - VAPOR BARRIER
VERT - VERTICAL
VEST - VESTIBULE
WD - WOOD
W/ - WITH
W/O - WITHOUT



NDG ARCHITECTURE

NOT FOR CONSTRUCTION SEAL

ADDITION
CORDILLERA VALLEY CLUB FIL 7 LOT 3
1912 BEARD CREEK TRAIL
EDWARDS, CO 81632

Job #
2024-021
Issue Date
T.B.D.

Drawing Name
GENERAL NOTES & WALL TYPES

No.	Date	Revision

A001

GENERAL NOTES

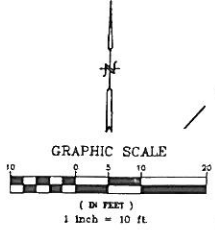
1. DATE OF TOPOGRAPHY 7/7/11 2014
2. BUILDING TIES ARE PERPENDICULAR OR RADIAL TO PROPERTY LINES AND ARE INDICATED IN PARENTHESES (XX.X).
3. APPROXIMATELY 7" OF SNOW ON LOT ON DATE OF TOPOGRAPHY. OTHER FEATURES MAY EXIST WHICH WERE NOT VISIBLE NOR SHOWN HEREON.
4. LOT 3 IS SUBJECT TO AN UNDERGROUND RIGHT OF WAY EASEMENT GRANTED TO HOLY CROSS ELECTRIC ASSOCIATION, RECORDED AUGUST 3, 1995 IN BOOK 872 AT PAGE 306 AS RECEPTION NO. 58404, AND EASEMENT GRANTED TO HOLY CROSS ELECTRIC ASSOCIATION RECORDED JANUARY 7, 1997 IN BOOK 715 AT PAGE 257 AS RECEPTION NO. 611203.
5. LOT 3 IS SUBJECT TO AN AGREEMENT RECORDED MARCH 24, 1995 IN BOOK 663 AT PAGE 894 AS RECEPTION NO. 559920.
6. LOT 3 IS SUBJECT TO THE AMENDED PLANNED UNIT DEVELOPMENT GUIDELINE RECORDED AUGUST 30, 1985 IN BOOK 874 AT PAGE 830; AMENDMENT THERE TO RECORDED JULY 25, 1996 IN BOOK 837 AT PAGE 424 AS RECEPTION NO. 58346, AND AMENDMENT THERE TO RECORDED AUGUST 19, 1997 IN BOOK 734 AT PAGE 947 AS RECEPTION NO. 630903, AND AMENDMENT RECORDED DECEMBER 29, 2008 AS RECEPTION NO. 200927978.
7. LOT 3 IS SUBJECT TO THE CERTIFICATE OF AMENDMENT FOR AMENDED AND RESTATED DECLARATION OF COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS FOR CORDILLERA VALLEY CLUB RECORDED AUGUST 25, 1995 IN BOOK 874 AT PAGE 809 AS RECEPTION NO. 570824 AND SUPPLEMENT RECORDED JULY 30, 1994 IN BOOK 700 AT PAGE 363 AS RECEPTION NO. 586551 AND SUPPLEMENTS RECORDED JUNE 14, 1996 IN BOOK 867 AT PAGE 424 AS RECEPTION NO. 583418 AND RECORDED FEBRUARY 1, 1995 AS RECEPTION NO. 683323.
8. LOT 3 IS SUBJECT TO THE TRENCH CONDUIT AND VAULT AGREEMENT RECORDED AUGUST 3, 1995 IN BOOK 872 AT PAGE 308.
9. LOT 3 IS SUBJECT TO THE RIGHT OF WAY EASEMENT TO HOLY CROSS ELECTRIC ASSOCIATION RECORDED AUGUST 1, 1997 IN BOOK 733 AT PAGE 843 AS RECEPTION NO. 629600.
10. LOT 3 IS SUBJECT TO ALL MATTERS AS SHOWN ON THE PLAT OF CORDILLERA VALLEY CLUB PLANS NO. 7 RECORDED DECEMBER 8, 1997 IN BOOK 745 AT PAGE 730 AS RECEPTION NO. 641875.
11. LOT 3 IS SUBJECT TO THE DECLARATION OF COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS FOR SEVEN EAGLES RECORDED NOVEMBER 17, 1998 AS RECEPTION NO. 678499 FIRST SUPPLEMENT RECORDED FEBRUARY 1, 1999 AS RECEPTION NO. 680394, AND SECOND SUPPLEMENT RECORDED NOVEMBER 18, 1999 AS RECEPTION NO. 715037, AND THIRD SUPPLEMENT RECORDED NOVEMBER 18, 1999 AS RECEPTION NO. 715038, AND FOURTH SUPPLEMENT RECORDED SEPTEMBER 20, 2001 AS RECEPTION NO. 767789.
12. LOT 3 IS SUBJECT TO THE NOTICE OF LEVY OF REAL ESTATE TRANSFER ASSESSMENT RECORDED OCTOBER 24, 2001 AS RECEPTION NO. 700648 AND REAL ESTATE TRANSFER ASSESSMENT RECORDED MARCH 23, 2005 AS RECEPTION NO. 800394.
13. LOT 3 IS SUBJECT TO THE ASSIGNMENT OF EASEMENT RIGHTS RECORDED MAY 19, 2010 AS RECEPTION NO. 201006551.
14. LOT 3 IS SUBJECT TO AN BILL OF SALE AND AGREEMENT FOR WATER LINES AND EQUIPMENT RECORDED JUNE 16, 2010 AS RECEPTION NO. 20101878 AND CONVEYANCE AGREEMENT RECORDED JUNE 16, 2010 AS RECEPTION NO. 20101879.
15. LOT 3 IS SUBJECT TO THE DECLARATORY JUDGMENT RECORDED OCTOBER 4, 2010 AS RECEPTION NO. 201019111.
16. LOT 3 IS SUBJECT TO THE COVENANT FOR ERRANT GOLF BALLS AS CONTAINED IN THE DEED RECORDED DECEMBER 15, 1988 AS RECEPTION NO. 47985.
17. CORDILLERA VALLEY CLUB INVESTORS LIMITED PARTNERSHIP, FOR ITSELF, ITS SUCCESSORS, ASSIGNS AND LICENSEES, HEREBY RESERVES A PERPETUAL NON-EXCLUSIVE EASEMENT AND RIGHT-OF-WAY OVER, UNDER, ABOVE, ACROSS AND THROUGH THOSE PORTIONS OF THIS FINAL PLAT DESIGNATED "ACCESS AND UTILITY EASEMENT" WHICH "ACCESS AND UTILITY EASEMENT" MAY BE USED FOR: (1) CONSTRUCTION, RECONSTRUCTION, MAINTENANCE AND USE OF AN ACCESS RIGHT-OF-WAY INCLUDING BUT NOT LIMITED TO ACCESS FOR PEDESTRIAN, BICYCLE, EQUESTRIAN, VEHICULAR, AND CONSTRUCTION AND MAINTENANCE VEHICLES AND EQUIPMENT; (2) THE INSTALLATION AND MAINTENANCE OF UTILITIES, DRAINAGE AND BENCH FACILITIES INCLUDING BUT NOT LIMITED TO STORM DRAINAGE, DITCH, SANITARY SEWERS, WATER AND UNDERGROUND ELECTRICAL LINES, GAS LINES, TELEPHONE LINES, AND CABLE TELEVISION INSTALLATION; (3) THE INSTALLATION, USE, MAINTENANCE, REPLACEMENT AND REPAIR OF ANY IMPROVEMENTS CONSTRUCTED PURSUANT TO THIS EASEMENT; AND (4) THE DRAINAGE OF WATER FLOWING FROM OTHER LANDS.
18. CORDILLERA VALLEY CLUB INVESTORS LIMITED PARTNERSHIP, FOR ITSELF, ITS SUCCESSORS, ASSIGNS AND LICENSEES, HEREBY RESERVES A PERPETUAL NON-EXCLUSIVE EASEMENT AND RIGHT-OF-WAY OVER, UNDER, ABOVE, ACROSS AND THROUGH THOSE PORTIONS OF THIS FINAL PLAT DESIGNATED "UTILITY AND DRAINAGE EASEMENT" WHICH "UTILITY AND DRAINAGE EASEMENT" MAY BE USED FOR: (1) CONSTRUCTION, RECONSTRUCTION, MAINTENANCE AND USE OF AN ACCESS RIGHT-OF-WAY INCLUDING BUT NOT LIMITED TO ACCESS FOR PEDESTRIAN, BICYCLE, EQUESTRIAN, VEHICULAR, AND CONSTRUCTION AND MAINTENANCE VEHICLES AND EQUIPMENT; (2) THE INSTALLATION AND MAINTENANCE OF UTILITIES, DRAINAGE AND BENCH FACILITIES INCLUDING BUT NOT LIMITED TO STORM DRAINAGE, DITCH, SANITARY SEWERS, WATER AND UNDERGROUND ELECTRICAL LINES, GAS LINES, TELEPHONE LINES, AND CABLE TELEVISION INSTALLATION; (3) THE INSTALLATION, USE, MAINTENANCE, REPLACEMENT AND REPAIR OF ANY IMPROVEMENTS CONSTRUCTED PURSUANT TO THIS EASEMENT; AND (4) THE DRAINAGE OF WATER FLOWING FROM OTHER LANDS.
19. CORDILLERA VALLEY CLUB INVESTORS LIMITED PARTNERSHIP, FOR ITSELF, ITS SUCCESSORS, ASSIGNS AND LICENSEES, HEREBY RESERVES A PERPETUAL NON-EXCLUSIVE EASEMENT AND RIGHT-OF-WAY OVER, UNDER, ABOVE, ACROSS AND THROUGH THOSE PORTIONS OF THIS FINAL PLAT DESIGNATED "UTILITY EASEMENT" FOR THE INSTALLATION, MAINTENANCE, REPAIR AND REPLACEMENT OF UTILITIES INCLUDING BUT NOT LIMITED TO STORM DRAINAGE, DITCH, SANITARY SEWERS, WATER AND UNDERGROUND ELECTRICAL LINES, GAS LINES, TELEPHONE LINES, AND CABLE TELEVISION INSTALLATION, AND THE USE, MAINTENANCE, REPAIR AND REPLACEMENT OF ANY SUCH IMPROVEMENTS.
20. BLANKET EASEMENTS, CORDILLERA VALLEY CLUB INVESTORS LIMITED PARTNERSHIP, HEREBY RESERVES TO ITSELF, ITS SUCCESSORS AND ASSIGNS, A BLANKET EASEMENT UPON, ACROSS, OVER AND UNDER ALL ROADS, LOTS AND TRACTS WITH THE EXCEPTION OF BUILDING ENVELOPES, FOR THE PURPOSE OF INSTALLATION, REPLACEMENT, REPAIR AND MAINTENANCE OF DRAINAGE, DITCH, UTILITY AND OTHER SERVICE LINES AND SYSTEMS AND PEDESTRIAN TRAILS AND SYSTEMS (AND INGRESS AND EGRESS ACROSS SUCH TRAILS AND SYSTEMS), INCLUDING BUT NOT LIMITED TO WATER, SEWER, GAS, TELEPHONE, TELEVISION, CABLE OR COMMUNICATION AND ELECTRIC LINES AND SYSTEMS, DRAINAGE STRUCTURES AND PEDESTRIAN TRAILS AND FURTHER, FOR THE PURPOSE OF DITCHES AND FILLS AND/OR RETAINING WALLS ADJACENT TO THE ROADWAYS SHOWN ON THIS PLAT AS ARE NECESSARY OR DESIRABLE FOR THE PROPER CONSTRUCTION USE AND MAINTENANCE OF SAID ROADWAYS. CORDILLERA VALLEY CLUB INVESTORS LIMITED PARTNERSHIP, ITS SUCCESSORS AND ASSIGNS, FURTHER RESERVES THE RIGHT, BUT NOT THE OBLIGATION, TO RECORD A DOCUMENT SPECIFYING THE BOUNDARIES OF SUCH EASEMENTS AT ANY TIME AFTER SUCH UTILITY LINES, ROADWAY DITCHES AND FILLS AND/OR RETAINING WALL, PEDESTRIAN TRAIL OR OTHER IMPROVEMENTS DESCRIBED ABOVE HAVE BEEN CONSTRUCTED (BUILDING ENVELOPES ARE EXCLUDED FROM THIS BLANKET EASEMENT).
21. PEAK LAND CONSULTANTS, INC. DID NOT PERFORM A TITLE SEARCH OF THE SUBJECT PROPERTY TO ESTABLISH OWNERSHIP, EASEMENTS OR RIGHTS-OF-WAY OF RECORD. RECORD DOCUMENTS UTILIZED IN THIS IMPROVEMENT LOCATION CERTIFICATE WERE PROVIDED BY STEWART TITLE, ORDER NO. 01330-37104, DATED FEBRUARY 25, 2014, AT 8:00 A.M.
22. NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON.

IMPROVEMENT LOCATION CERTIFICATE

I HEREBY CERTIFY THAT THIS IMPROVEMENT LOCATION CERTIFICATE WAS PREPARED FOR BEREGA SAGER.
 THAT IT IS NOT A LAND SURVEY PLAT OR IMPROVEMENT SURVEY PLAT, AND THAT IT IS NOT TO BE REPLIED UPON FOR THE ESTABLISHMENT OF FENCE, BUILDING OR OTHER FUTURE IMPROVEMENT LINES.
 I FURTHER CERTIFY THAT THE IMPROVEMENTS ON THE ABOVE DESCRIBED PARCEL ON THIS DATE, 03/13/14, EXCEPT UTILITY CONNECTIONS, ARE ENTIRELY WITHIN THE BOUNDARIES OF THE PARCEL, EXCEPT AS SHOWN THAT THERE ARE NO ENCROACHMENTS UPON THE DESCRIBED PARCELS BY IMPROVEMENTS ON ANY ADJOINING PARCELS, EXCEPT AS INDICATED, AND THAT THERE IS NO APPARENT EVIDENCE OR SIGN OF ANY EASEMENT CROSSING OR BURDENING ANY PART OF SAID PARCEL, EXCEPT AS NOTED.



DATE: _____
 BRENT BOGGS
 COLORADO P.L.S. NO. 27598
 FOR A OR BEHALF OF PEAK LAND CONSULTANTS, INC.



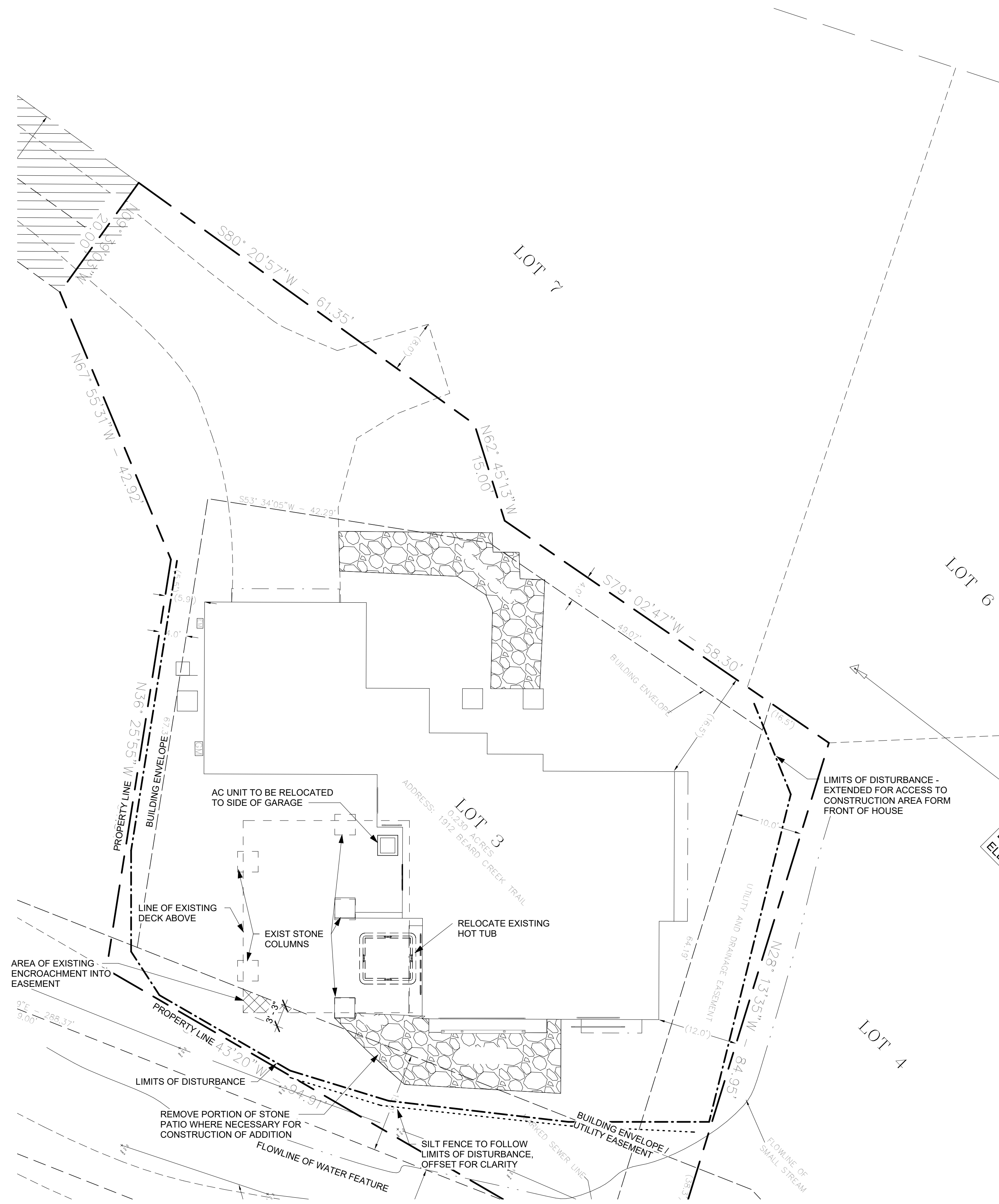
BEARD CREEK TRAIL
 (100' RIGHT-OF-WAY)

SHARED ASPHALT DRIVEWAY

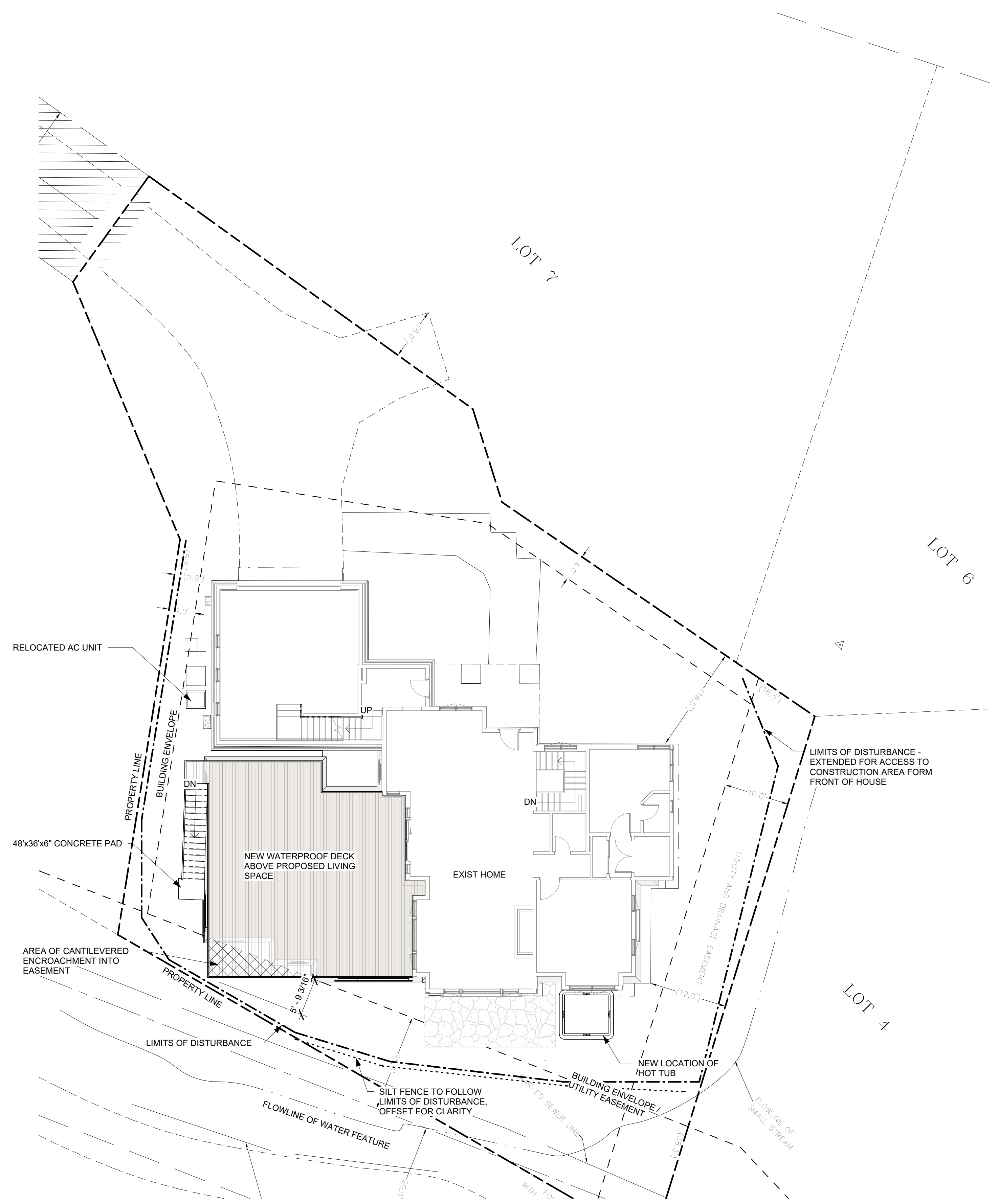
FOUND NO. 5 REBAR WITH 18" ALUMINUM CAP L.S. NO. 23086

IMPROVEMENT LOCATION CERTIFICATE LOT 3 CORDILLERA VALLEY CLUB FILING No. 7 EAGLE COUNTY, COLORADO			 PEAK LAND CONSULTANTS, INC. PH: 303.759.8844 FAX: 303.759.8814 1000 LEWIS ROAD LOOP, SUITE 10 VAL, CO 81657
DRAWN: JF DATE: 03/13/14	CHECKED BY: BB PLC JOB# 1821	SHEET 1 of 1	

P:\Projects\2014\140313\140313.dwg, 03/13/14, 8:00 AM, JF



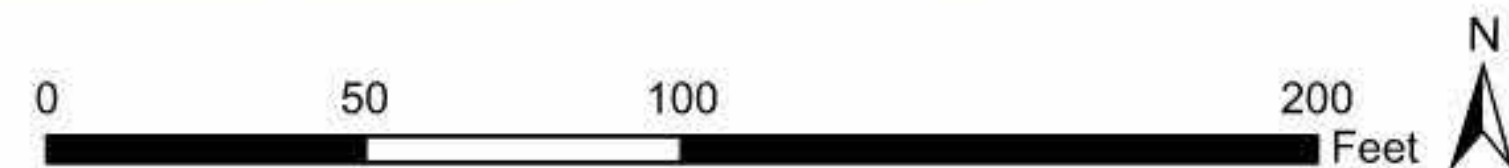
1 EXIST SITE PLAN
1" = 10'-0"



2 PROPOSED SITE PLAN
1" = 10'-0"



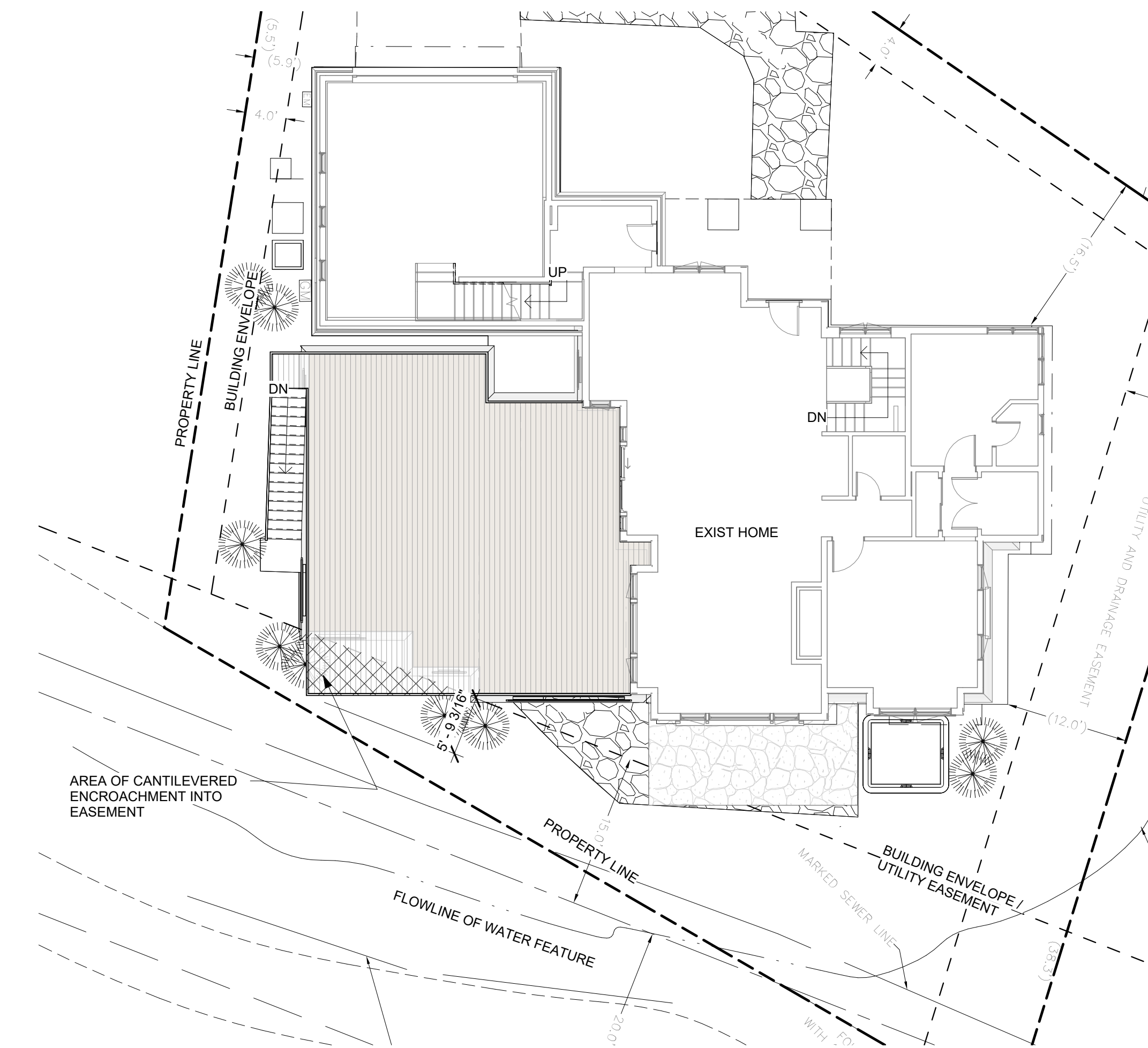
Revision	No.	Date



This map was produced by Eagle River Water and Sanitation District. Use of this map should be for general purposes only. ERWSD does not warrant the accuracy of the data contained herein. Author: JW Date: 12/23/2024

Bill Nutkins from NDG Architecture met on-site with representatives, Tim Friday and Ivy Todd, of ERWSD on December 20, 2024 to review and survey the actual location of the sewer main line within the easement which runs behind the homes in Seven Eagles enclave of Cordillera Valley Club. It was confirmed at this meeting the sewer line is 8.9' away from the current deck corner (see exhibit). Tim also confirmed the district would require the encroachment to be min. of 5'-0" from the sewer main in the event the district needed to repair the line. This is consistent to the encroachment requested and approved to the neighbors property.

The current deck encroaches into the easement approximately 3'-3" (see A101), which is approximately 8.9' away from the sewer line. The proposed new deck encroachment would be an additional 2'-6 1/4" into the easement, making it approximately 6.4' from the sewer line. It should be noted the deck encroachment is cantilevered and no physical connection to the ground inside the easement. The bottom of the deck structure is approximately 10'-0" above the grade directly below.



1 PROPOSED SITE PLAN - ENCROACHMENT
1" = 10'-0"



NOT FOR CONSTRUCTION
SEAL

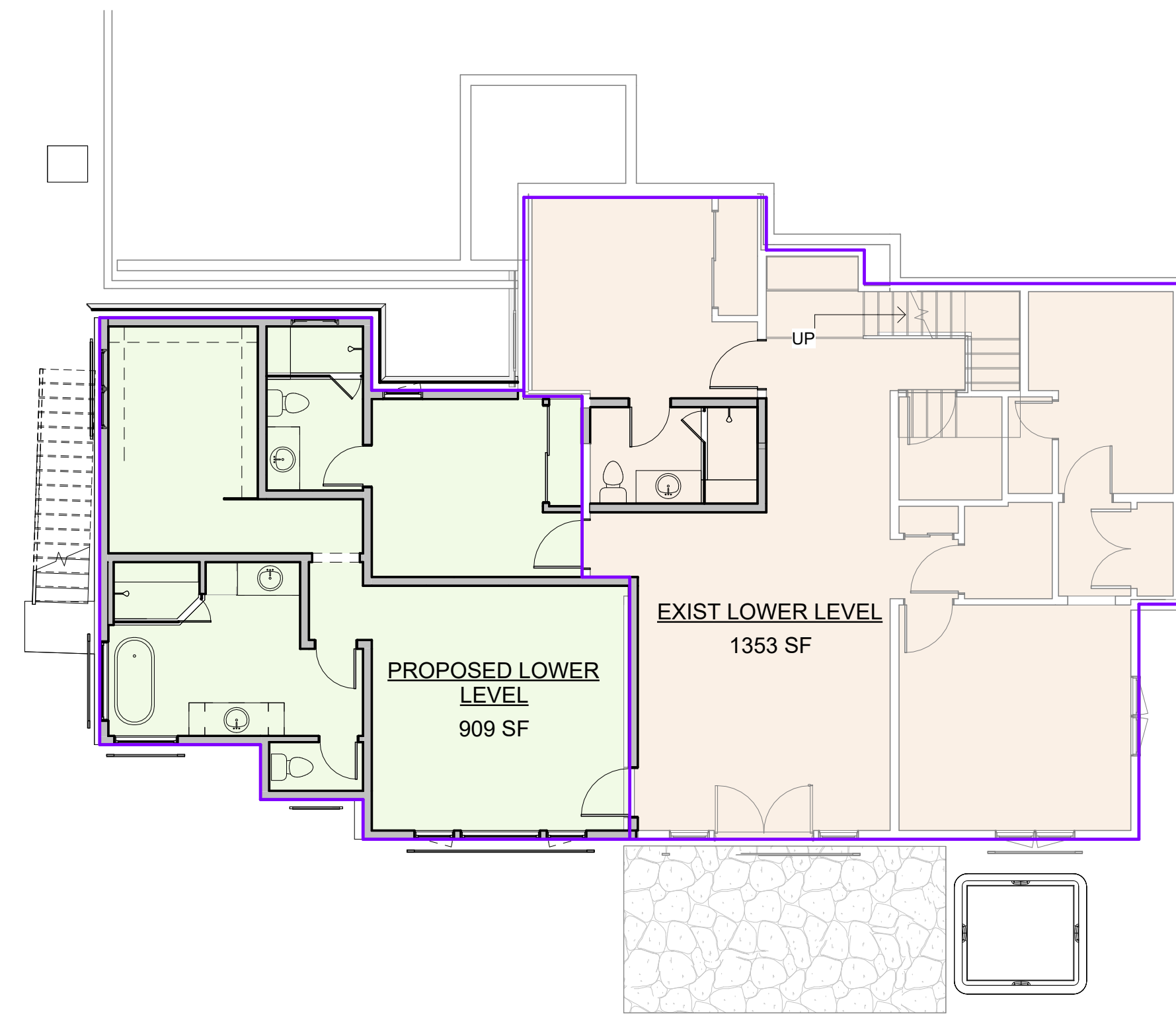
ADDITION
CORDILLERA VALLEY CLUB FIL 7 LOT 3
1912 BEARD CREEK TRAIL
EDWARDS, CO 81632

Job #
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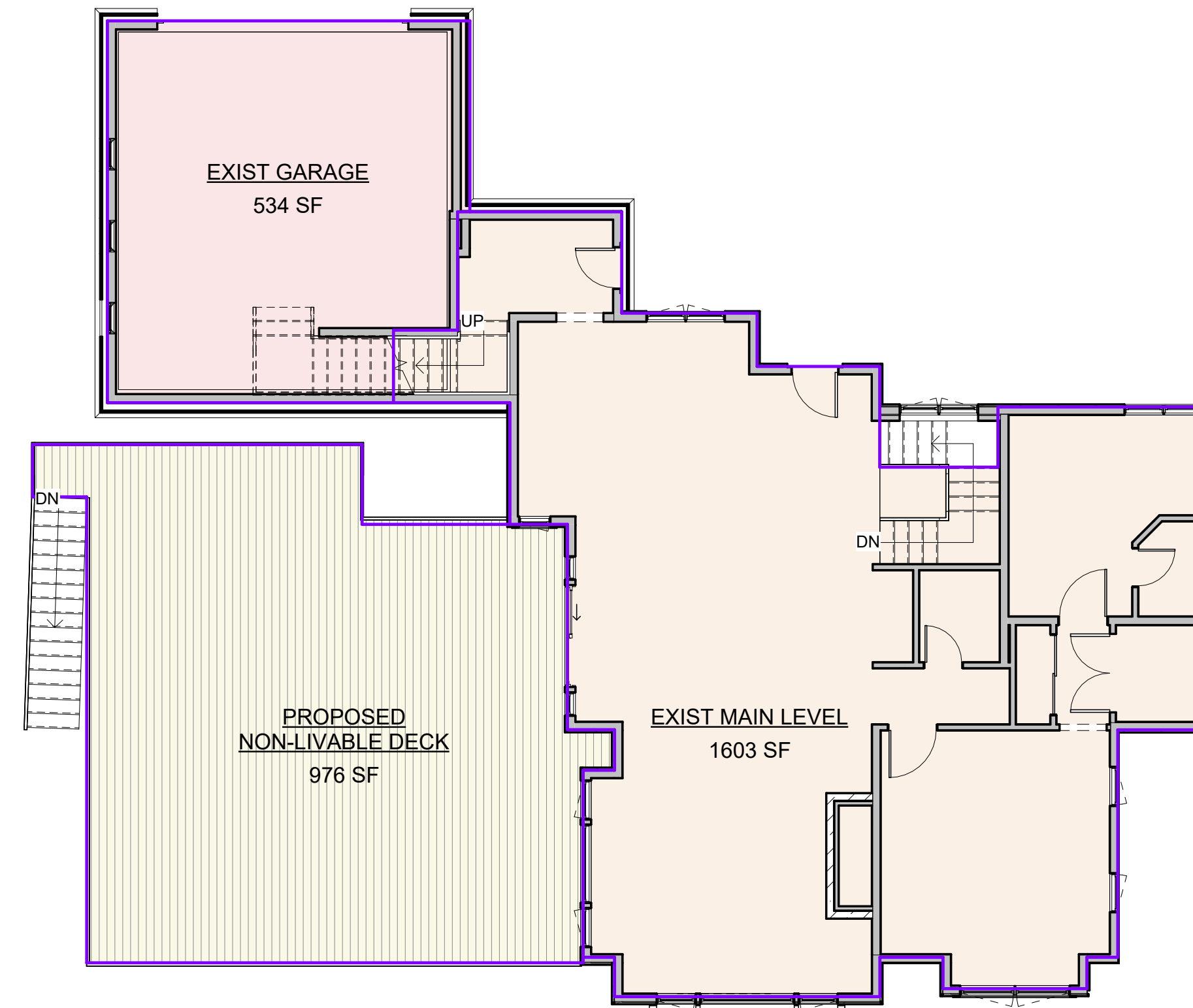
Drawing Name
EASEMENT ENCROACHMENT EXHIBIT

Revision	No.	Date

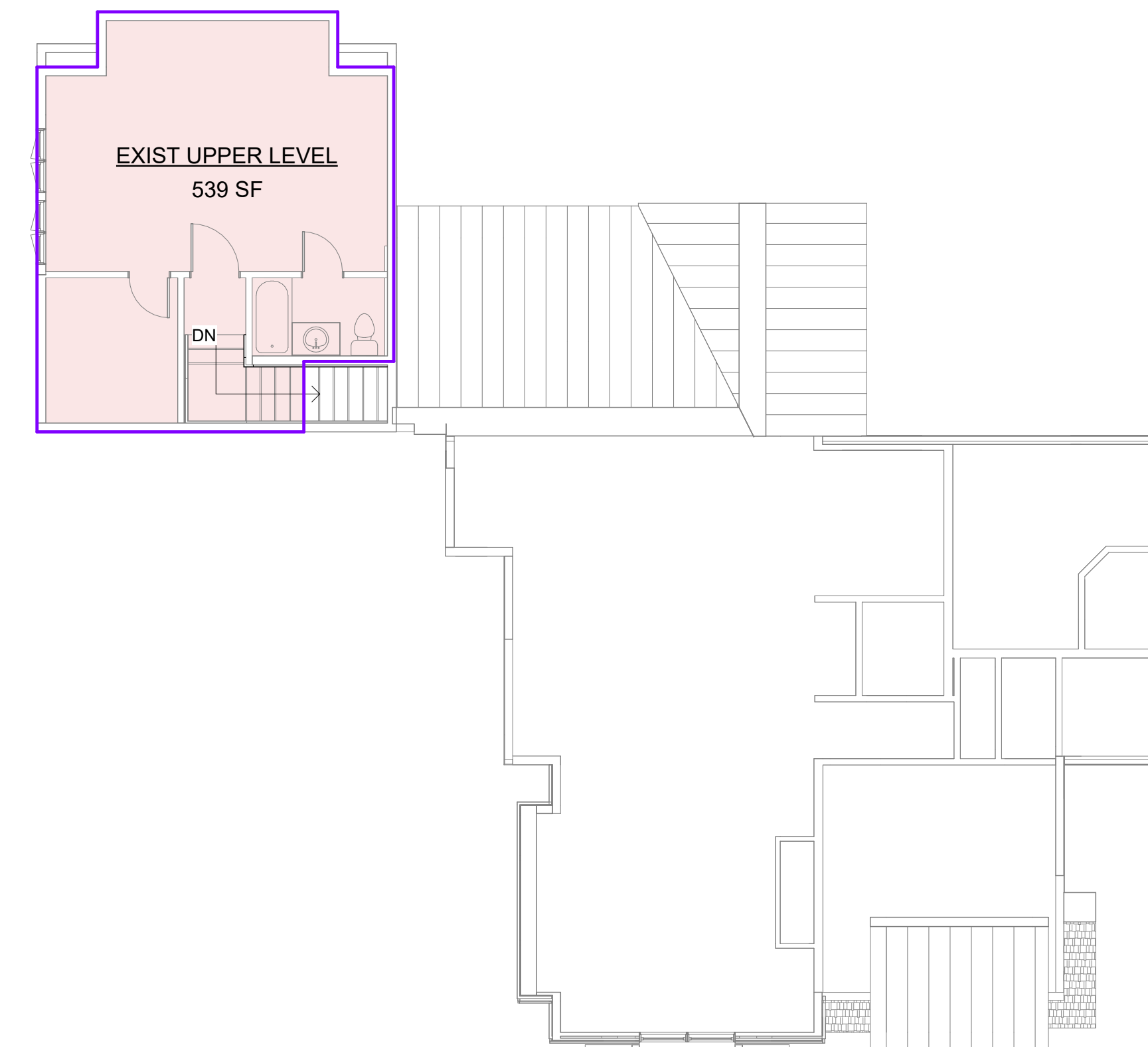
A104



① LOWER LEVEL - AREA PLAN
1/8" = 1'-0"



② MAIN LEVEL - AREA PLAN
1/8" = 1'-0"



③ UPPER LEVEL - AREA PLAN
1/8" = 1'-0"

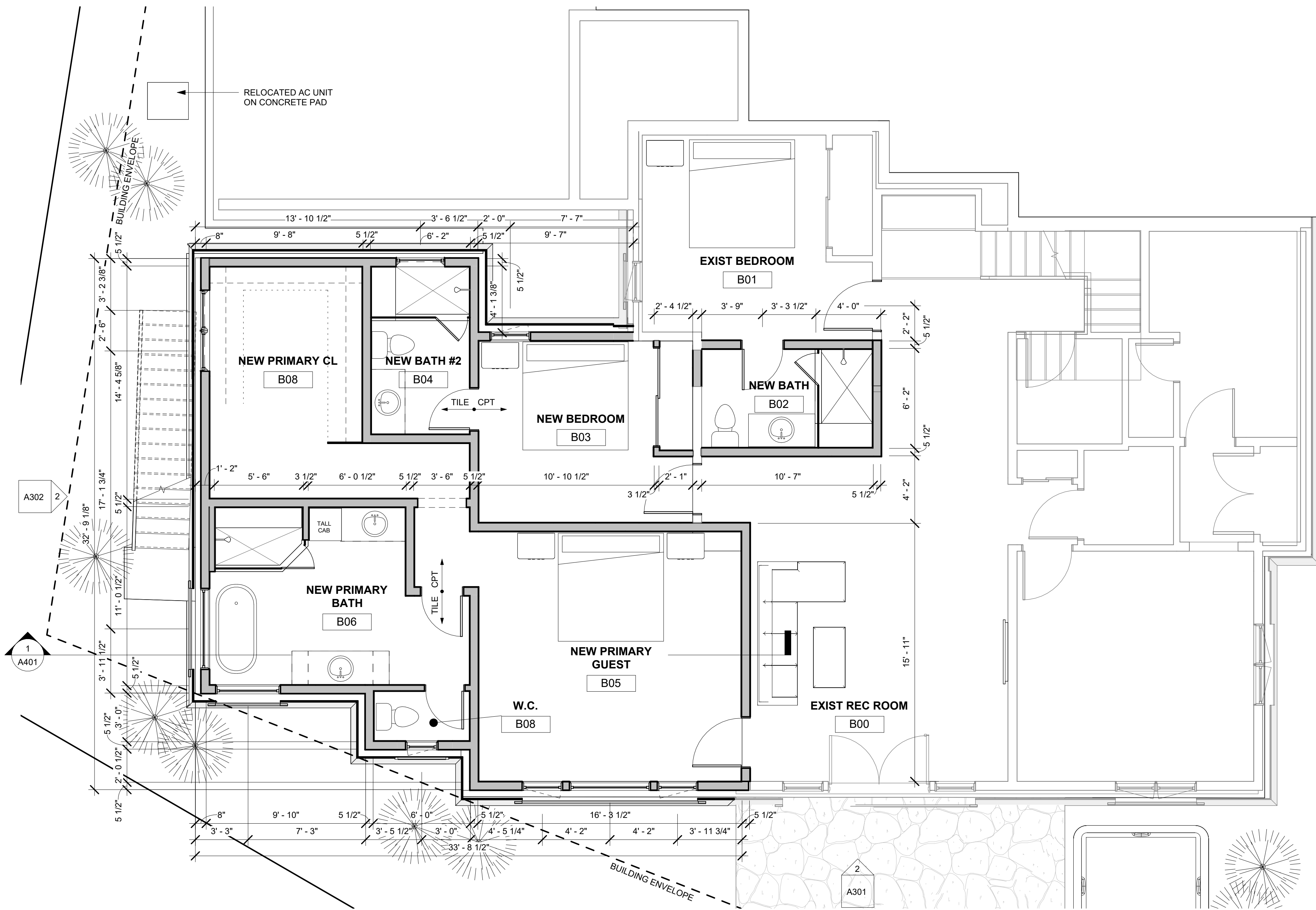
New Area Schedule	
Name	Area

PROPOSED LOWER LEVEL	909 SF
PROPOSED NON-LIVABLE DECK	976 SF
Grand total: 2	1885 SF

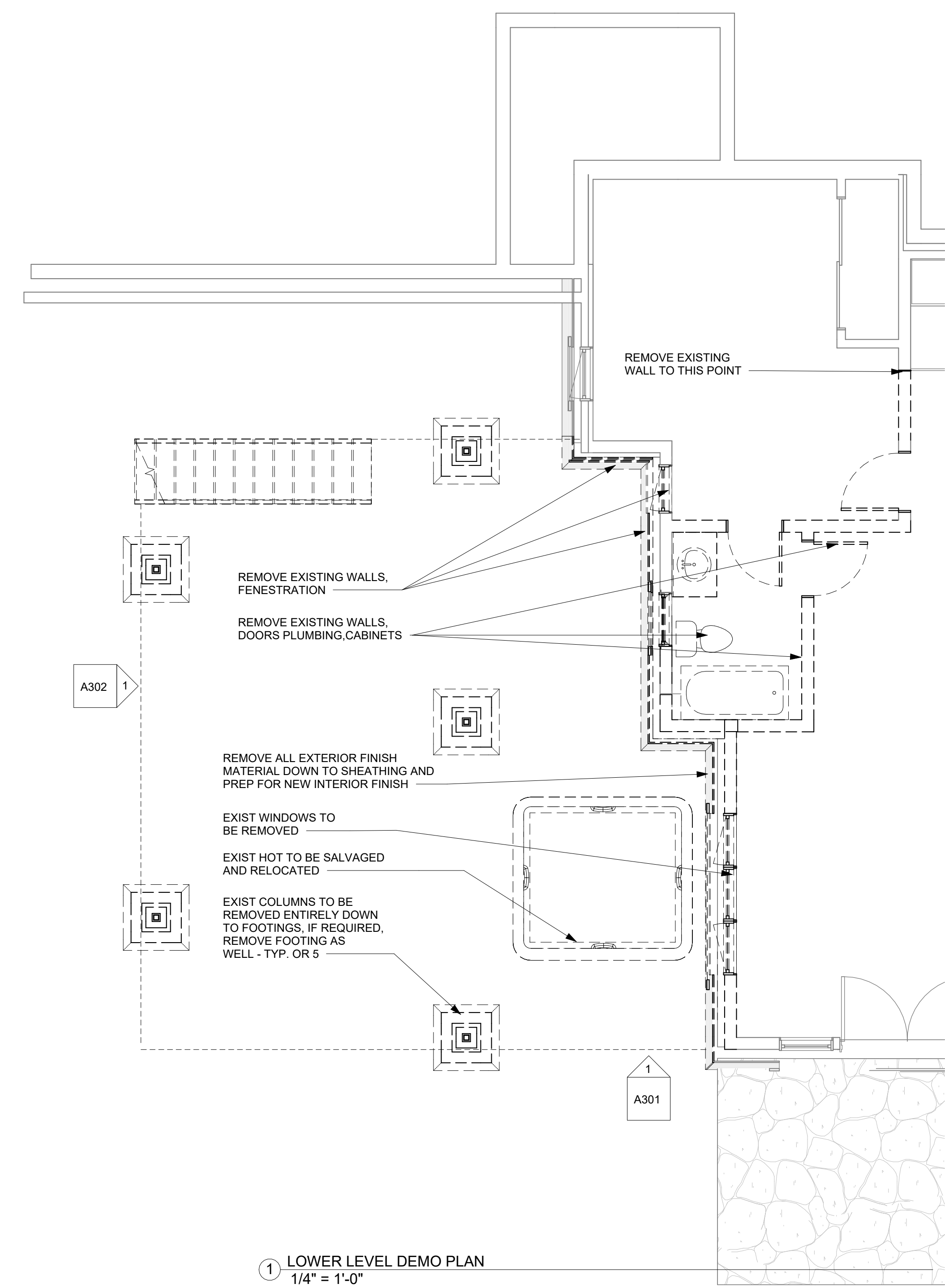
Exist Area Schedule	
Name	Area

EXIST LOWER LEVEL	1353 SF
EXIST MAIN LEVEL	1603 SF
EXIST UPPER LEVEL	539 SF
Grand total: 3	3495 SF

Revision	No.	Date

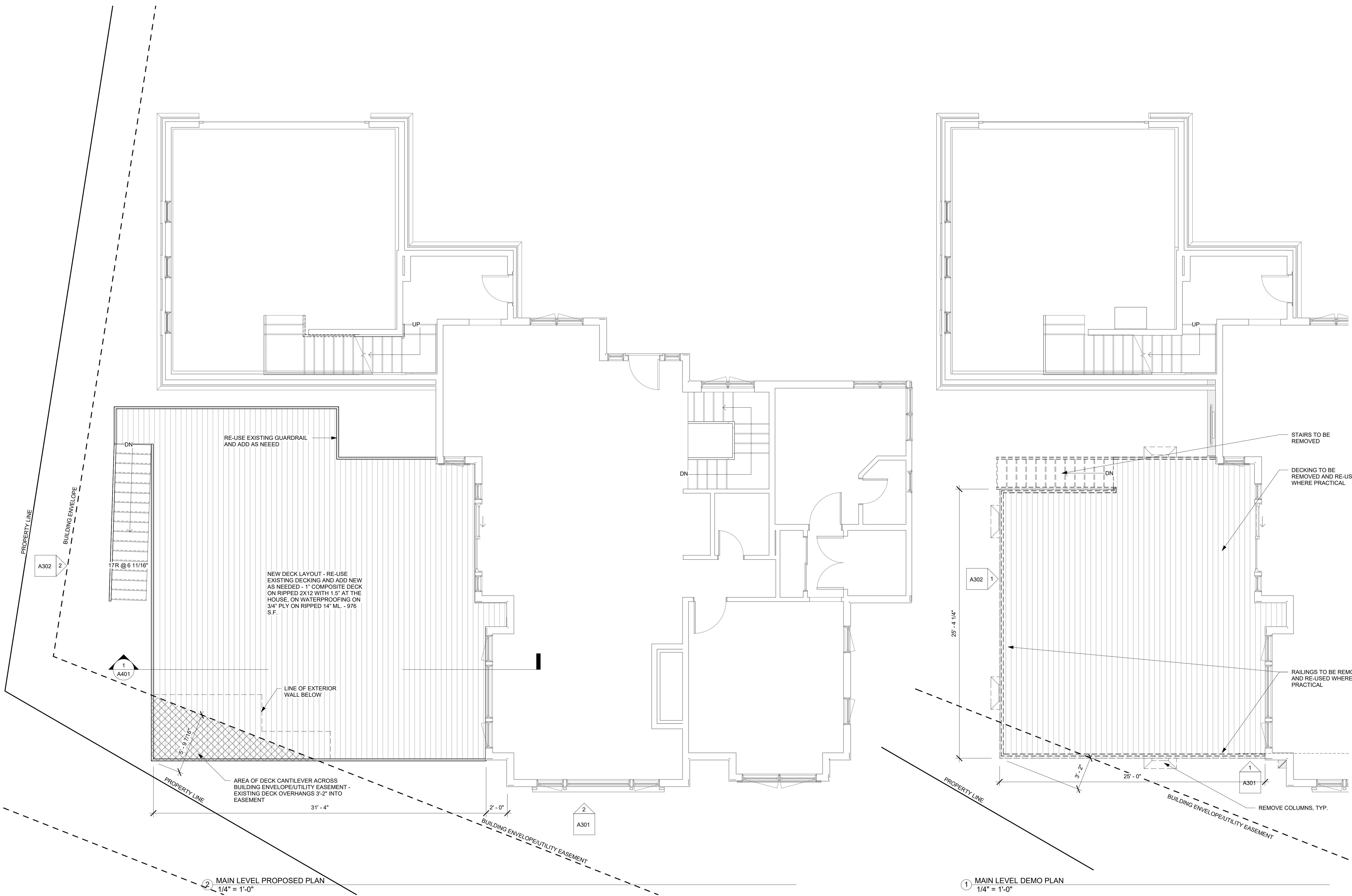


2 LOWER LEVEL PROPOSED PLAN
1/4" = 1'-0"



1 LOWER LEVEL DEMO PLAN
1/4" = 1'-0"

Revision	No.	Date



No.	Date



① EXIST SOUTH ELEVATION
1/4" = 1'-0"



② PROPOSED SOUTH ELEVATION
1/4" = 1'-0"

- EXTERIOR FINISH**
- X-1 DRY STACK STONE VENEER TO MATCH EXIST
 - X-2 SLANTED HORIZONTAL WD SIDING TO MATCH EXIST
- DOORS & WINDOWS - METAL CLAD WINDOWS, COLOR - TO MATCH EXIST**
- HEAD TRIM 2X6 WD TO MATCH EXIST
 - JAMB TRIM 2X6 WD TO MATCH EXIST
 - SILL TRIM 2X6 TO MATCH EXIST
 - FASCIA TO MATCH EXIST
 - BEAMS 6X14 WD, TO MATCH EXIST
 - COLUMNS HSS PER STRUCT W/ STONE WRAPPED WD FRAMING
 - CORNER BOARDS 2X6 TO MATCH EXIST

NDG ARCHITECTURE
PARTNERS: GORDON | BENTLEY | HARRIS | NICHOLS | O'NEILL

NOT FOR CONSTRUCTION
SEAL

ADDITION
CORDILLERA VALLEY CLUB FIL 7 LOT 3
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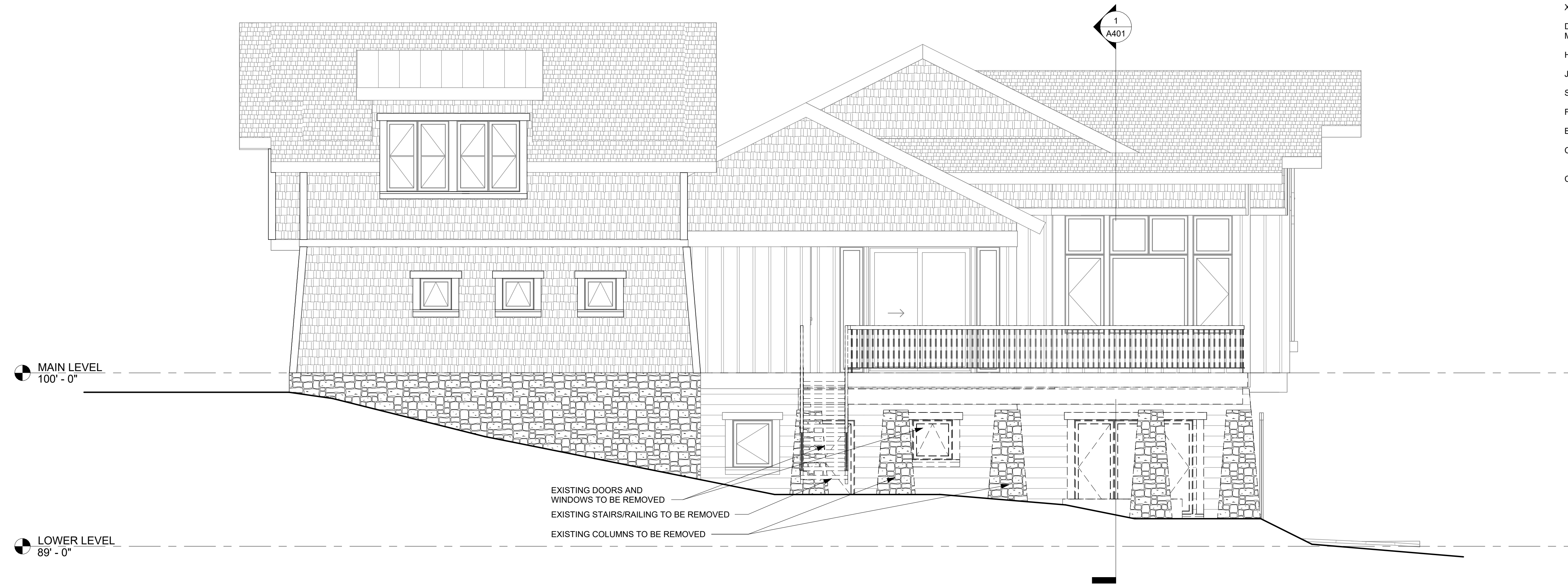
Issue Date
T.B.D.

Drawing Name
SOUTH EXT. ELEVATIONS

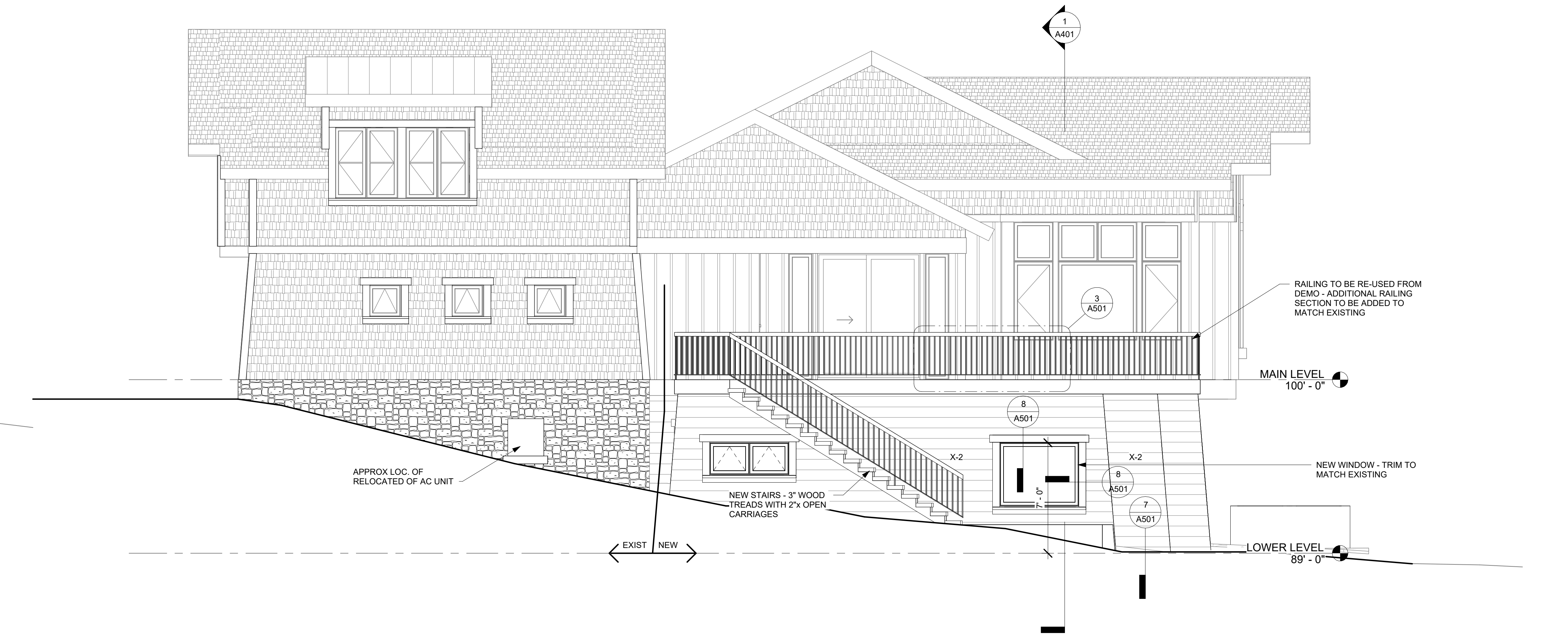
Revision	No.	Date

A301

- EXTERIOR FINISH**
 X-1 DRY STACK STONE VENEER TO MATCH EXIST
 X-2 SLANTED HORIZONTAL WD SIDING TO MATCH EXIST
- DOORS & WINDOWS - METAL CLAD WINDOWS, COLOR - TO MATCH EXIST**
- HEAD TRIM** 2X6 WD TO MATCH EXIST
JAMB TRIM 2X6 WD TO MATCH EXIST
SILL TRIM 2X6 TO MATCH EXIST
FASCIA TO MATCH EXIST
BEAMS 6X14 WD, TO MATCH EXIST
COLUMNS HSS PER STRUCT W/ STONE WRAPPED WD FRAMING
CORNER BOARDS 2X6 TO MATCH EXIST



① EXIST EAST ELEVATION
 1/4" = 1'-0"



② PROPOSED EAST ELEVATION
 1/4" = 1'-0"

NDG
 ARCHITECTURE
1000 N. GARDEN | DENVER, CO 80202

NOT FOR CONSTRUCTION
 SEAL

ADDITION
 CORDILLERA VALLEY CLUB FIL 7 LOT 3
 1912 BEARD CREEK TRAIL
 EDWARDS, CO 81632

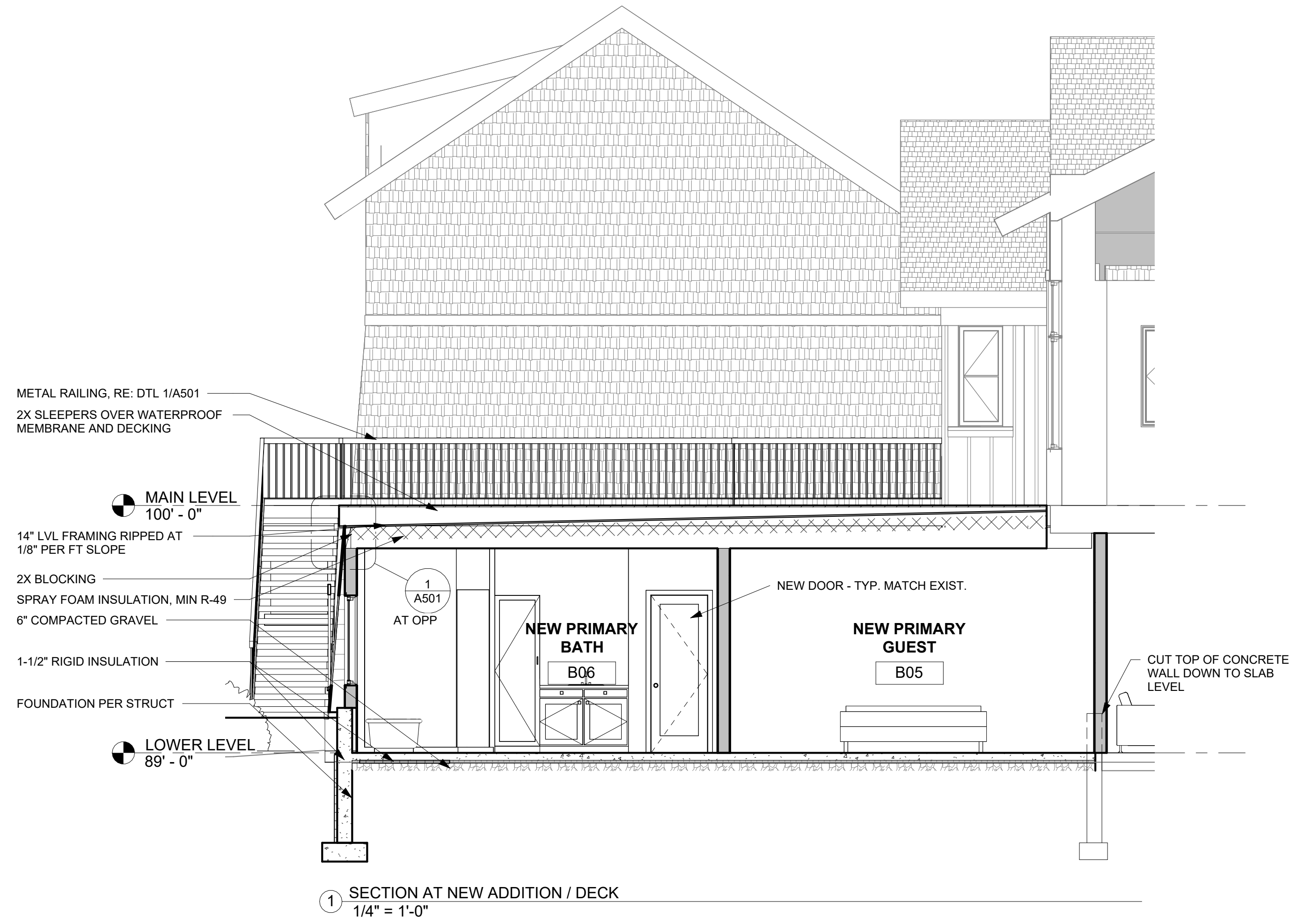
Job #
 2024-021

Issue Date
 T.B.D.

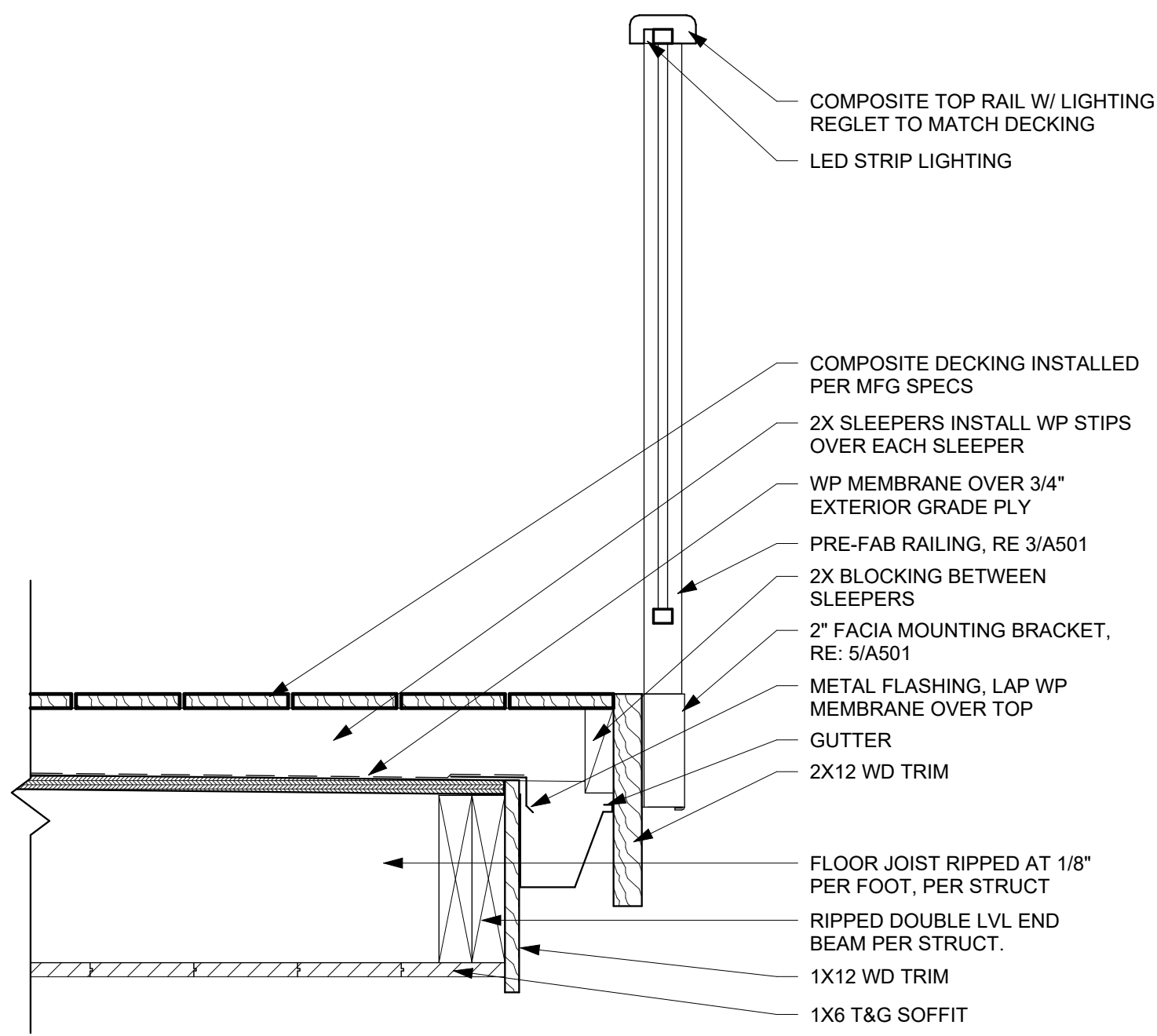
Drawing Name
 EAST EXT. ELEVATIONS

Revision No. Date

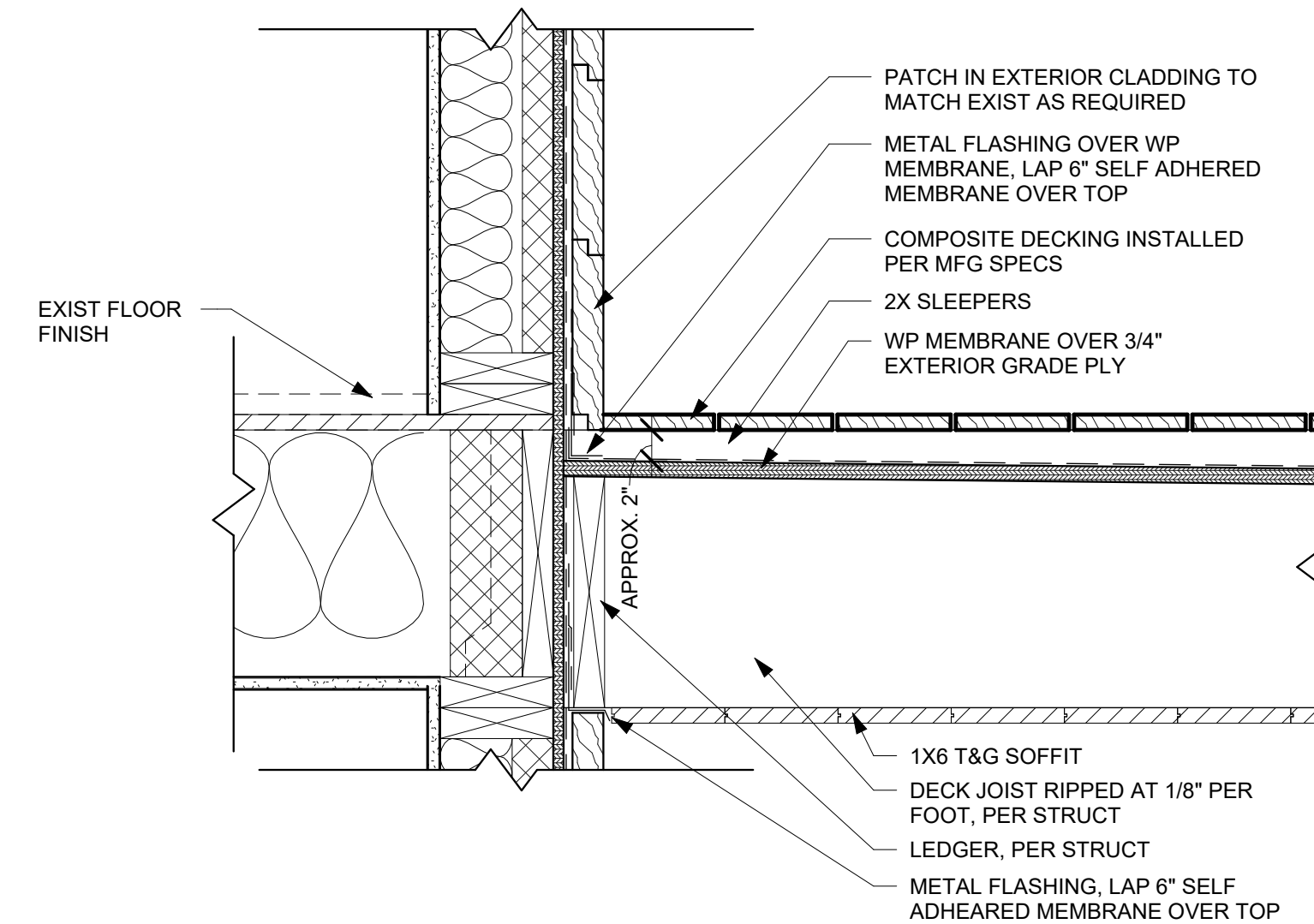
A302



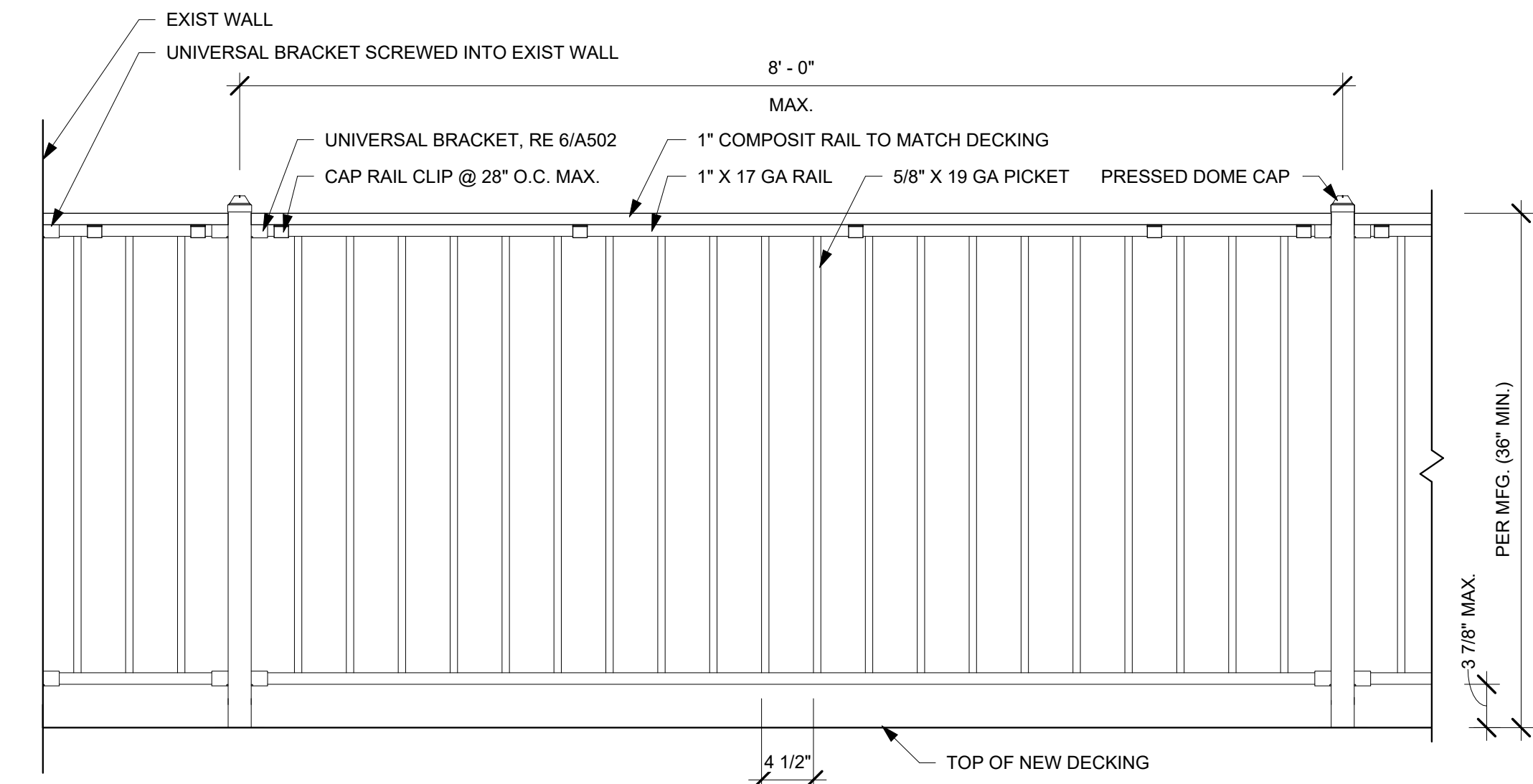
Revision	No.	Date



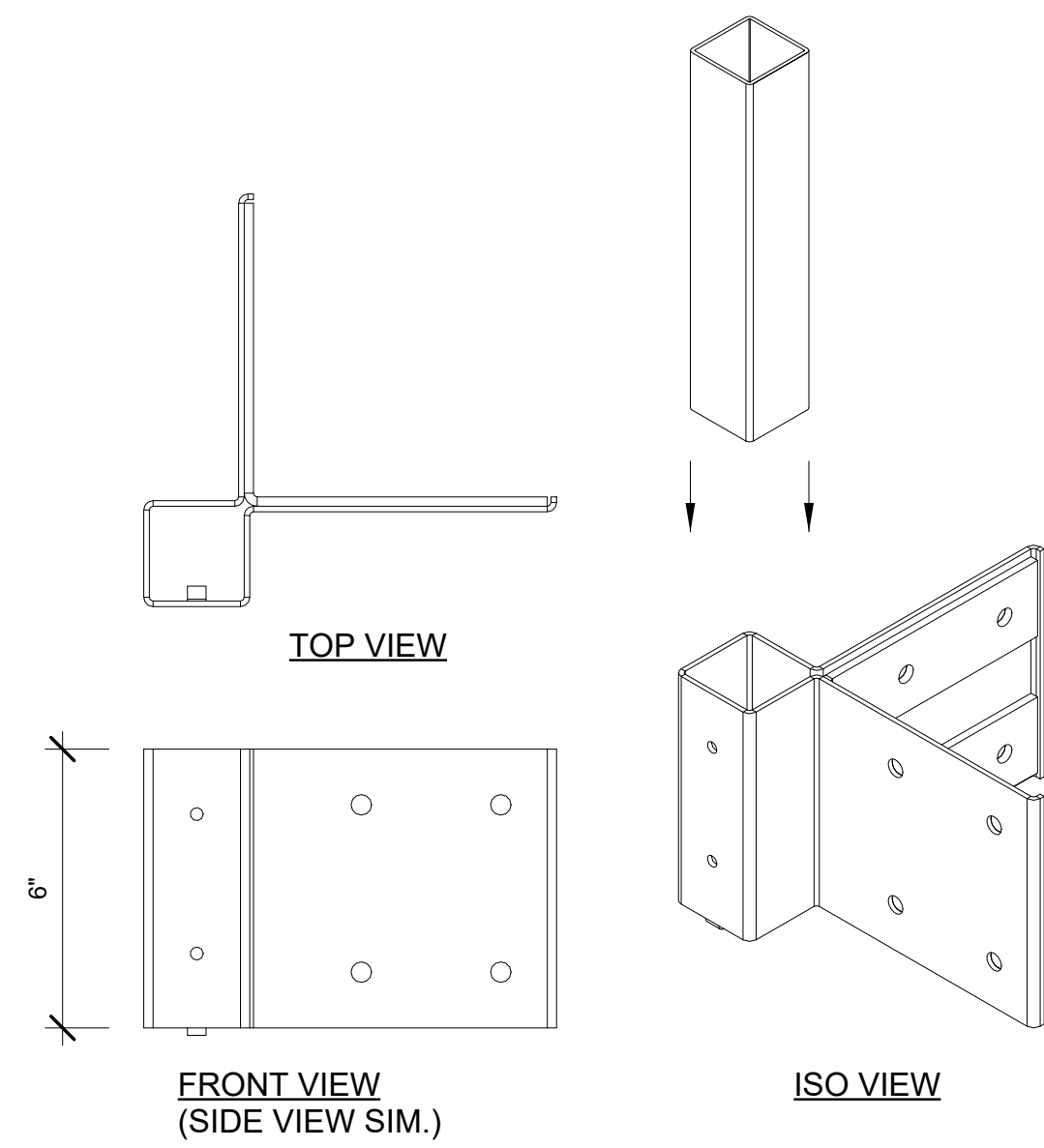
1 DECK RAILING DETAIL
1 1/2" = 1'-0"



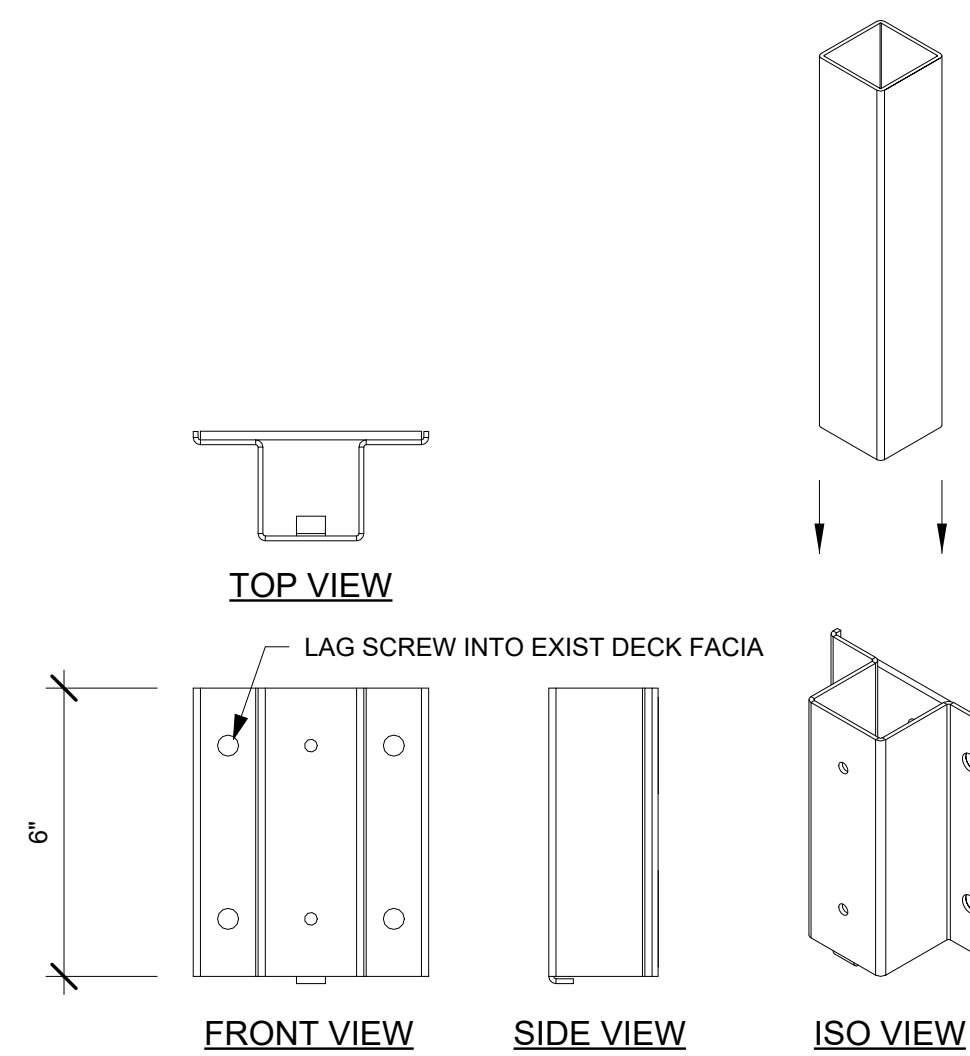
2 DECK DETAIL AT WALL
1 1/2" = 1'-0"



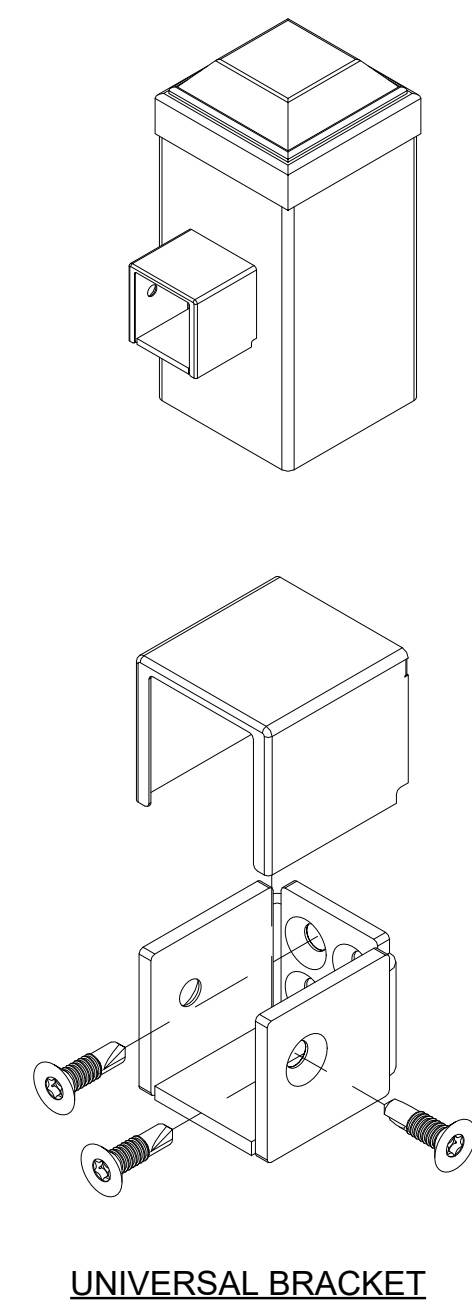
3 RAILING
1" = 1'-0"



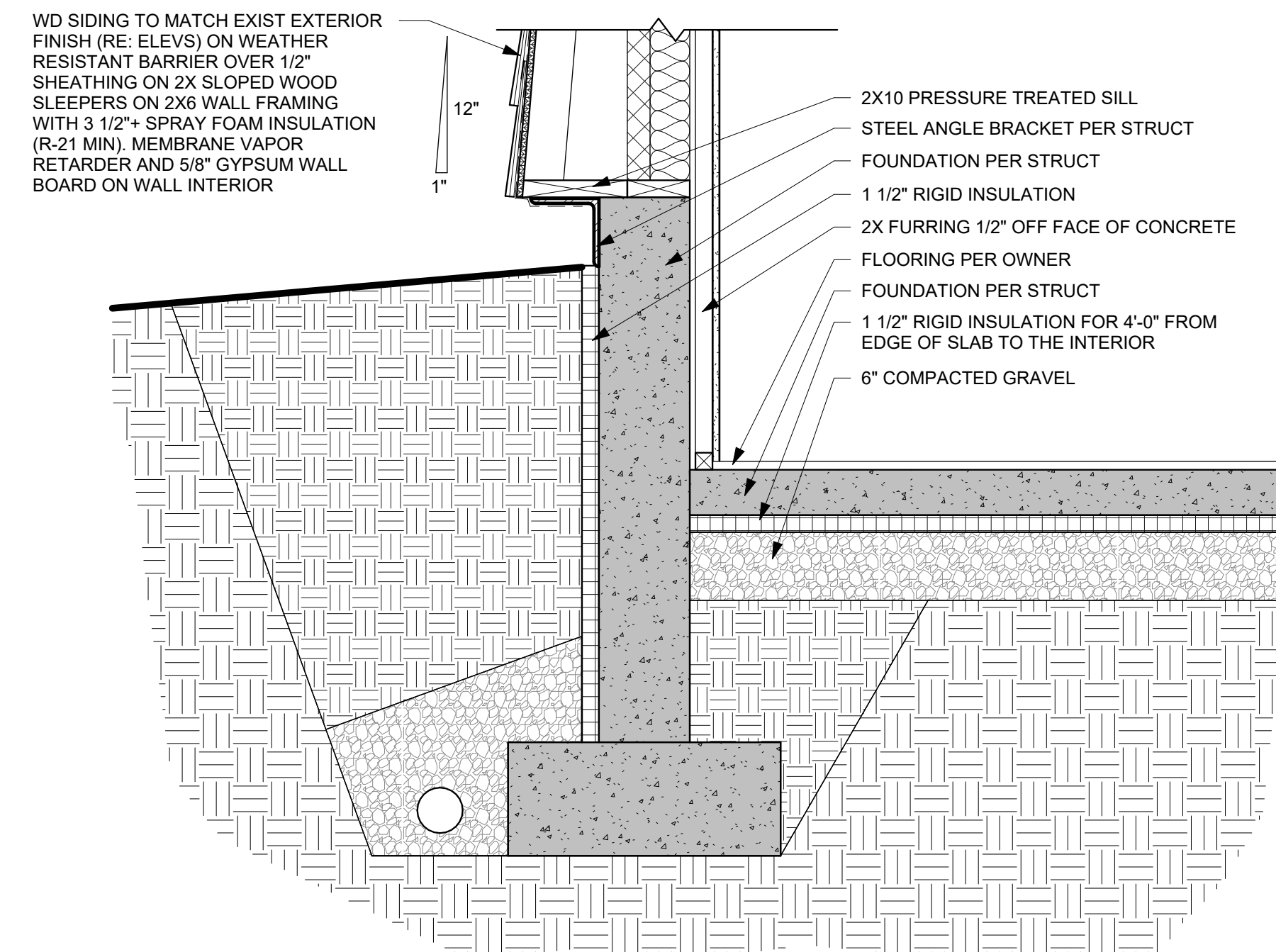
4 FACIA MOUNT BRACKET - OUTSIDE CORNER
3" = 1'-0"



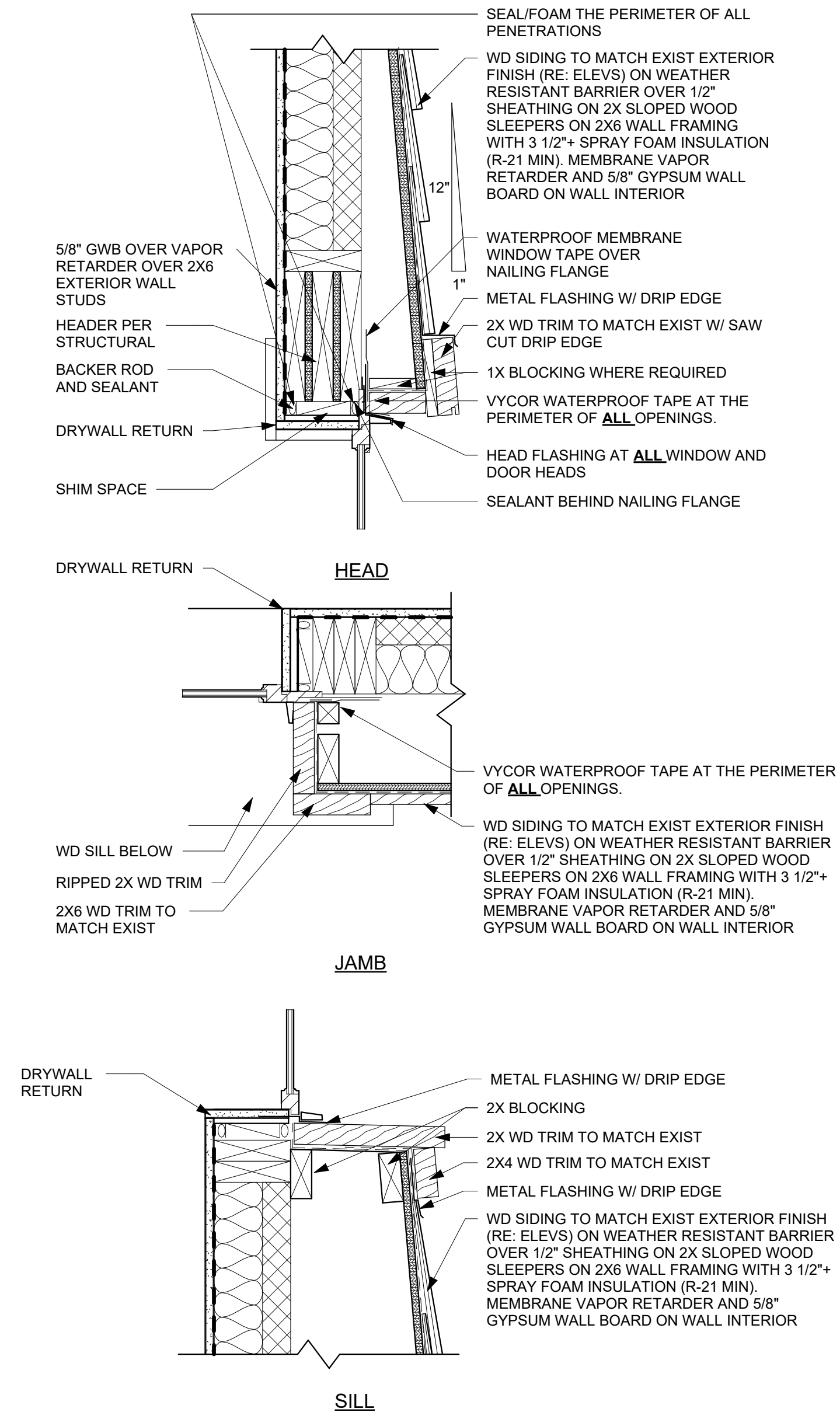
5 FACIA MOUNT BRACKET - STRAIGHT
3" = 1'-0"



6 RAILING CONNECTIONS
1 1/2" = 1'-0"



7 BASE OF WALL
1" = 1'-0"



8 WINDOW DETAILS
1 1/2" = 1'-0"

Revision	No.	Date