

AREA OF WORK.
 ALL PROPOSED WORK TO BE ALIGNED ON EXISTING STRUCTURAL ROOF, WALL FRAMING AND FOUNDATION. NO PROPOSED FOUNDATION OR EXTENSION BEYOND PERIMETER OF EXISTING BUILT CONDITIONS.

1 ARCHITECTURAL SITE PLAN
 SCALE: 1" = 10'-0"

SHEPHERD RESOURCES INC./AIA
 POST OFFICE BOX 840
 105 EDWARDS VILLAGE BLVD
 SUITE C103
 EDWARDS CO 81632
 970 • 949 • 3302
 SRIARCHITECT.COM



DATE	ISSUANCE	REV #

DRB SUBMITTAL

JANUARY 6, 2025

PROJECT: 2402

94 JUNIPER LANE

LOT 18, CORDILLERA VALLEY CLUB, FILING 1 EDWARDS, CO

SITE PLAN

L-100

PROTECTING NATURAL FEATURES

THE AREA OF DISRUPTION WILL BE COMPLETELY FENCED TO PROTECT SURROUNDING UNDISTURBED VEGETATION. THE AREAS WHICH ARE NOT LANDSCAPED BUT WITHIN THE DISRUPTION ZONE WILL BE REVEGETATED TO MATCH THE NATURAL VEGETATION.

ALL EXISTING TREES DESIGNATED TO REMAIN WILL BE SURROUNDED WITH SNOW FENCE INSTALLED AT THE DRIP LINE. THE FENCING WILL REMAIN THROUGH THE ENTIRE CONSTRUCTION PERIOD.

REVEGETATION SPECIFICATIONS

NATIVE GRASS SEED (REVEGETATION):
 NATIVE SEED MIX #1:
 GRASS SEED: "MULTI-COLOR HIGH ALTITUDE SEED MIX" MIX AS AVAILABLE FROM ARKANSAS VALLEY SEED COMPANY, DENVER, CO (303) 320-7500.
 ALTERNATE: DROUGHT TOLERATE SEED MIX AS APPROVED BY THE SINGLETREE DESIGN GUIDELINES.

APP. RATE: 10 OZ. PER 1000 SQ. FT. P.L.S.

STRAW MULCH:
 CLEAN OAT OR WHEAT STRAW WELL SEASONED BEFORE BALING, FREE FROM MATURE SEED-BEARING STALKS OR ROOTS OF PROHIBITED OR NOXIOUS WEEDS.

SEEDING:
 LOOSE SOIL OF SEEDED AREAS TO DEPTH OF 4"
 GRADE SOIL OF SEEDED AREAS TO SMOOTH EVEN SURFACE W/MODERATELY COARSE TEXTURE.
 APPLY SEED AT SPECIFIED RATES IN (2) EQUAL SOWINGS AT RIGHT ANGLES TO EACH OTHER.
 PLACE STRAW WITHIN 24 HRS @ (2) 50 LB. BALES PER 1000 SF, GRIMP INTO SOIL.

AUTOMATIC IRRIGATION

MAINTAIN IRRIGATION AS NEEDED DURING CONSTRUCTION WITH EXISTING SYSTEM.
 TREE AND SHRUB PLANTINGS SHALL BE DRIP IRRIGATED.
 TURF AREAS SHALL BE SPRAY IRRIGATED.
 NATIVE SEEDED AREAS SHALL BE TEMPORARILY IRRIGATED AS REQUIRED UNTIL ESTABLISHED (APPROX. ONE YEAR).

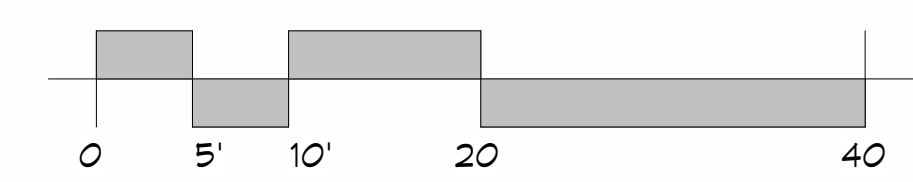
TEMPORARY EROSION CONTROL

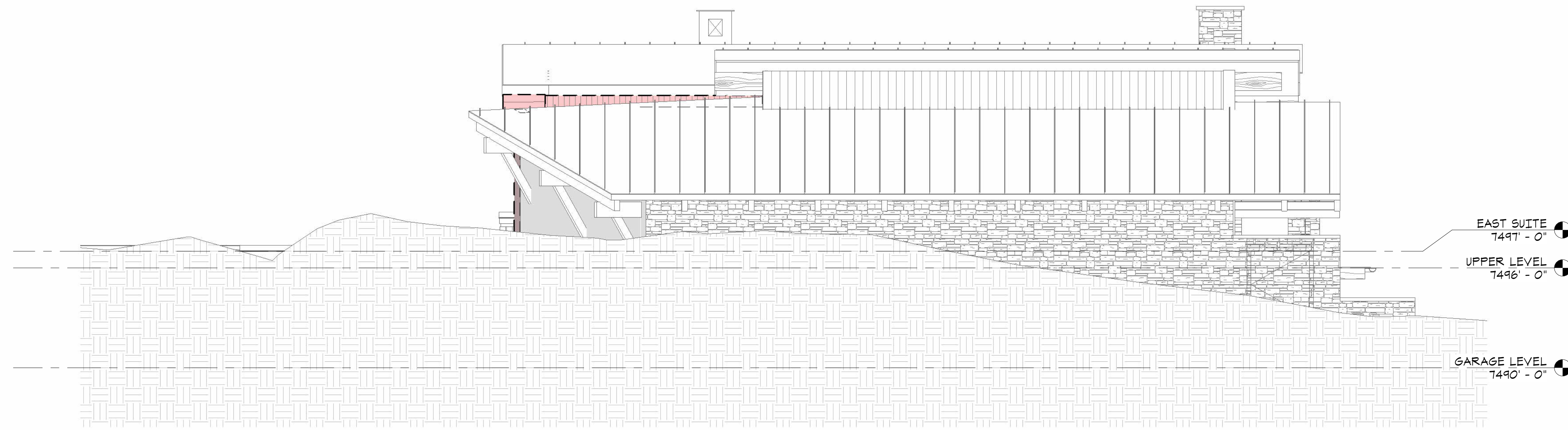
STRAW BALE SILTATION BERMS SHALL BE UTILIZED DURING THE CONSTRUCTION AND LANDSCAPING PERIODS. BERMS SHALL BE LOCATED ACCORDING TO THE PLANS AND AS REQUIRED TO CONTROL RUN-OFF AND SHALL BE INSTALLED PRIOR TO EXCAVATION.

WATER DISSIPATORS SHALL BE INSTALLED AT INTERVALS IN DRAINAGE SWALES NOT TO EXCEED 25'.

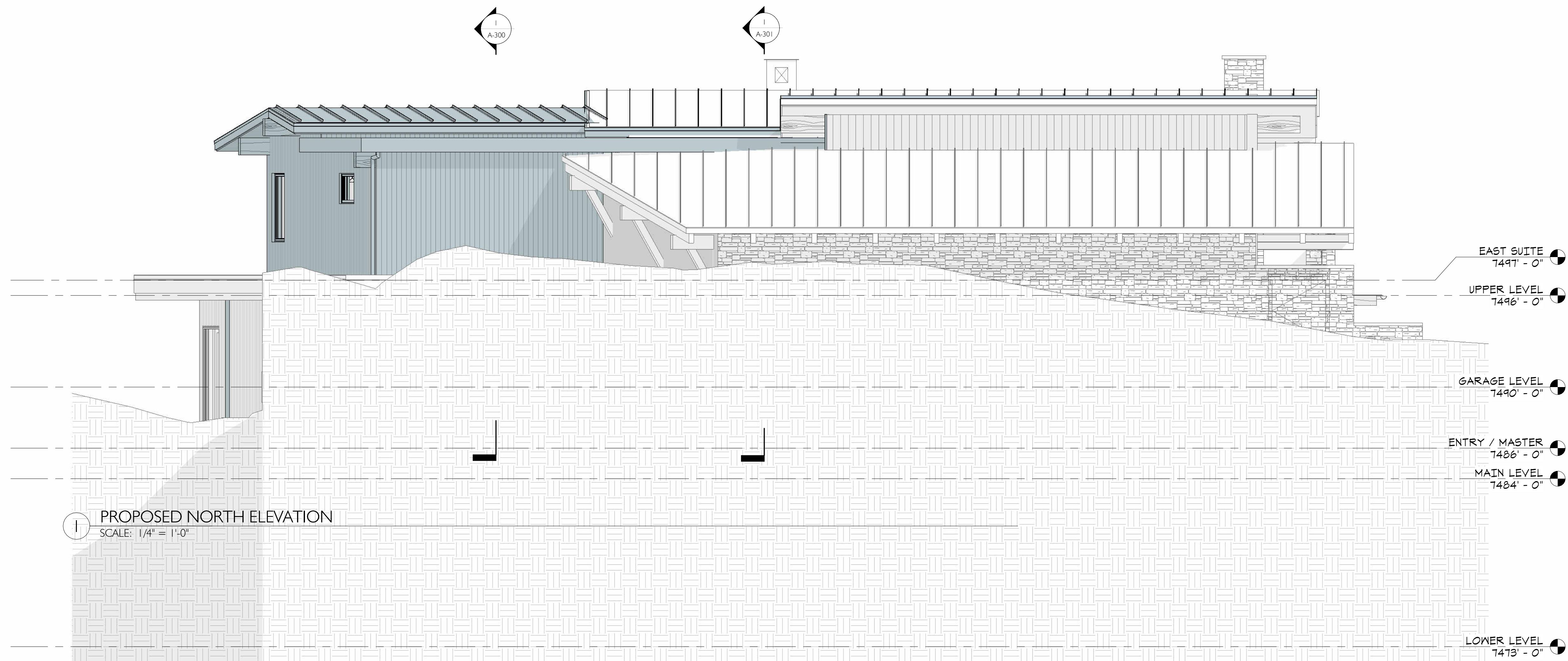
THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING THE RELEASE OF SEDIMENT LADEN WATER FROM THE CONSTRUCTION SITE, AND SHALL BE REQUIRED TO INSTALL ADDITIONAL CONTROL FACILITIES AT THE DIRECTION OF THE OWNER OR INSPECTOR, SHOULD PROBLEMS OCCUR.

ALL SLOPES GREATER THAN 2:1 WILL RECEIVED JUTE MESH EROSION CONTROL FABRIC UNTIL REVEGETATION GRASSES ARE ESTABLISHED.





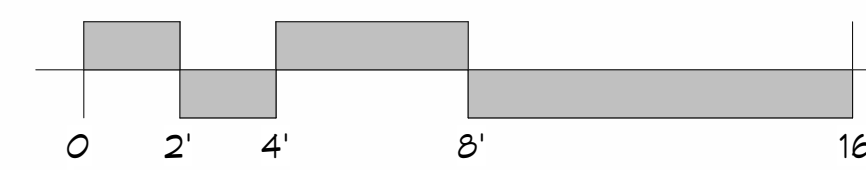
2 NORTH ELEVATION DEMO
SCALE: 1/4" = 1'-0"



1 PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"

WALL/FLOOR GRAPHICS LEGEND

	EXISTING TO BE DEMOLISHED
	EXISTING TO REMAIN
	NEW



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VALLEY CLUB, FILING I
EDWARDS, CO

ELEVATION

A-201



ATLANTIS

1648SK-LED
MEDIUM WALL MOUNT LANTERN
Atlantis features a minimalist design for the ultimate in urban sophistication. Constructed of solid aluminum and Dark Sky compliant, Atlantis provides a chic solution to eco-conscious homeowners.

DETAILS	
FINISH:	Satin Black
MATERIAL:	Aluminum
GLASS:	Etched Lens
DIMMABLE:	YES - 0-10V TYPE DIMMER ONLY

DIMENSIONS	
WIDTH:	6"
HEIGHT:	16"
WEIGHT:	4lb
BACK PLATE:	4.5" Sq.
EXTENSION:	3.5"
TOP TO OUTLET:	13.75"

LIGHT SOURCE	
LIGHT SOURCE:	Integrated LED
LED NAME:	LC1-30 & LC2-60
WATTAGE:	15w LED *Included
VOLTAGE:	120v/277v
COLOR TEMP:	3000
LUMENS:	1200
CRI:	96
INCANDESCENT EQUIVALENCY:	2 x 60w
DIMMABLE:	YES - 0-10V TYPE DIMMER ONLY

SHIPPING	
CARTON LENGTH:	9
CARTON WIDTH:	19
CARTON HEIGHT:	6
CARTON WEIGHT:	6

PRODUCT DETAILS:

- Suitable for use in wet (outdoor direct rain) locations as defined by NEC and CEC. Meets United States UL Underwriters Laboratories & CSA Canadian Standards Association Product Safety Standards
- Fixture is Dark Sky compliant and engineered to minimize light glare upward into the night sky
- ADA compliant
- Equipped with a 120/277 universal driver. 0-10 dimming.
- 2-year finish warranty
- LED components carry a 5-year limited warranty
- Bold lines and a clean, minimalist style complement contemporary architecture



TAPER DECK SCONCE

1563SK
TAPER STEP 12V HORIZONTAL
Seamlessly blending into architectural elements inside or outside the home, the Taper series beautifully illuminates stairs, walkways, or patio spaces, enhancing the outdoor lighting experience. Made of aluminum and featuring an etched lens, this 4 1/2 in x 3 1/4 in rectangle recessed step and deck mount includes an integrated LED light for over 40,000 hrs of light. This low-voltage fixture is practical and safer, especially in an outdoor setting. Expand time spent in outdoor living spaces and increase safety and security. Available in three classic finishes: Bronze, Satin Black, and Satin White.

DETAILS	
FINISH:	Satin Black
MATERIAL:	Aluminum
GLASS:	Etched Lens

DIMENSIONS	
WIDTH:	4.5"
HEIGHT:	3.3"
DEPTH:	1"

LIGHT SOURCE	
LIGHT SOURCE:	Integrated LED
LED NAME:	ETP15
VOLTAGE:	12v
COLOR TEMP:	2700
CRI:	90
INCANDESCENT EQUIVALENCY:	1 x 15w
DIMMABLE:	Yes - MLV On Transformer Primary
TRANSFORMER REQUIRED:	Yes

MOUNTING	
LEAD WIRE:	1 x 60"

SHIPPING	
CARTON LENGTH:	6.5
CARTON WIDTH:	3.3
CARTON HEIGHT:	5.8

PRODUCT DETAILS:

- Suitable for use in wet (outdoor direct rain or sprinkler) locations as defined by NEC and CEC. Meets United States UL Underwriters Laboratories & CSA Canadian Standards Association Product Safety Standards
- Rated for both indoor and outdoor use
- Fixture is ADA compliant and adheres to the standards and guidelines listed by the Americans with Disabilities Act
- A wiring kit is supplied.
- Easy and efficient installation: fewer fixtures illuminate a more extensive area, offering a diverse range of mounting opportunities.
- LED integrated components carry a 10-year limited warranty
- Bold lines and a clean, minimalist style complement contemporary architecture
- Striking black finish enhances design

HINKLEY

HINKLEY
33000 Pin Oak Parkway
Avon Lake, OH 44012

PHONE: (440) 653-5500
Toll Free: 1 (800) 446-5539

hinkley.com

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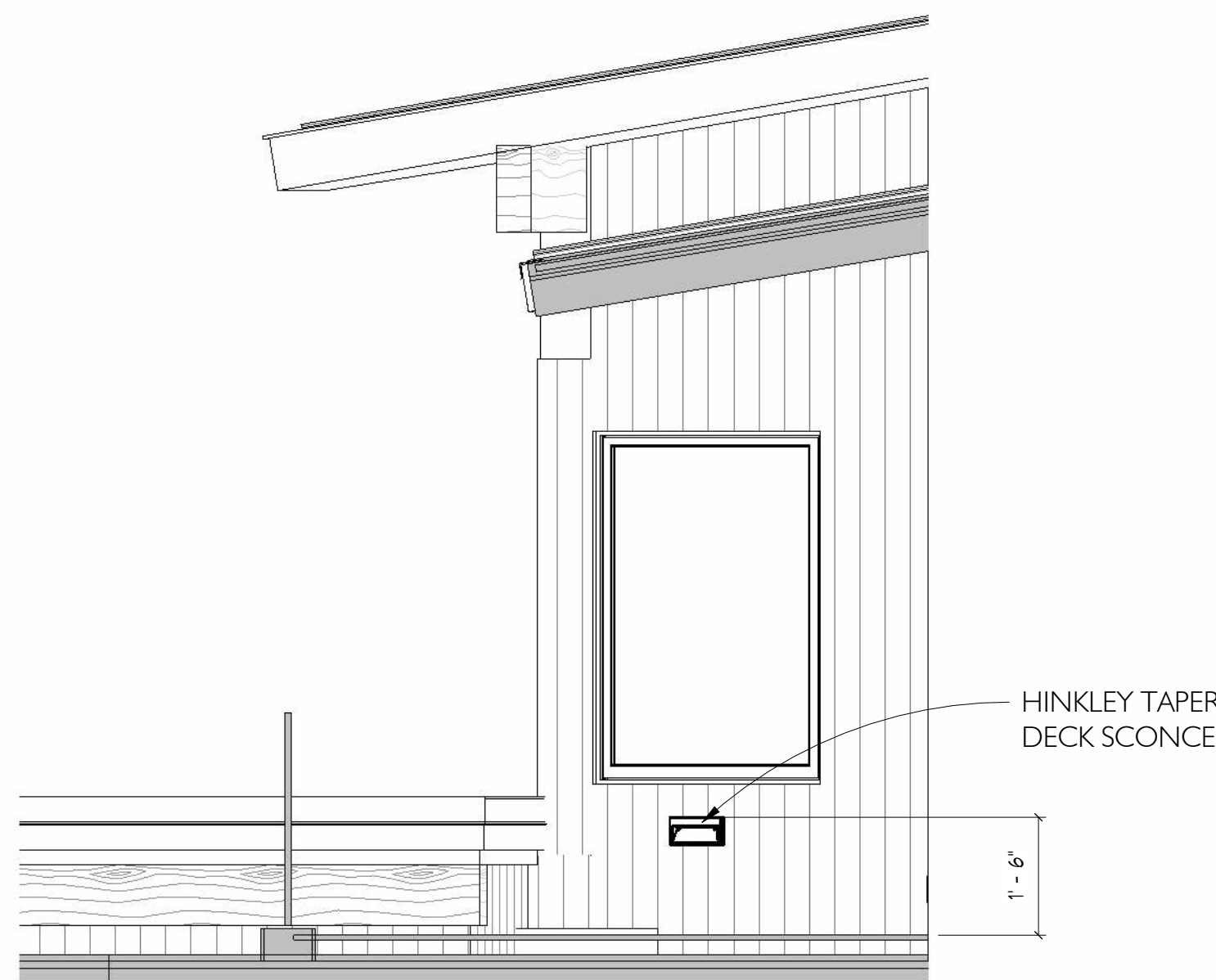
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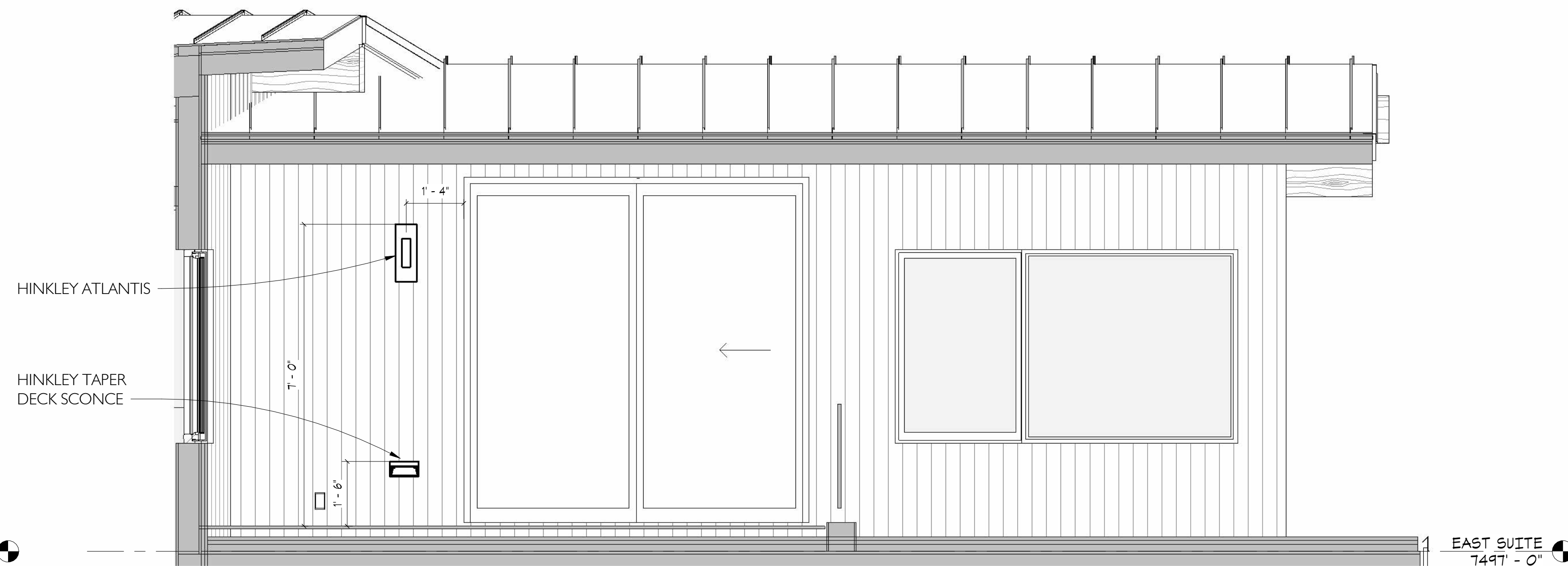
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EXTERIOR LIGHTING

E-001



2 PATIO LIGHT - ELEVATION
SCALE: 1/2" = 1'-0"



1 PATIO LIGHT - ELEVATION 2
SCALE: 1/2" = 1'-0"

