

94 JUNIPER LANE DRB SUBMITTAL JANUARY 6, 2025

P OST OFFI 105 EDWARD SUITE E D W A R D S 9 7 0 • 9	SOURCES INC/AIA ICE BOX 840 S VILLAGE BLVD E CI03 S CO 8I632 49 • 3 3 0 2 ITECT.COM	
DATE	ISSUANCE	REV #
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٩	NUARY 6, 2025	
LOT 18,		4
G	5-000	

DATUM REFERENCE

DATUM ELEVATION OF 7965'-0"

EQUALS ACTUAL ELEVATION OF 7965'-0" ABOVE SEA LEVEL TOP OF FINISHED FLOOR

XXX'-X''TOP OF PLYWOOD (P) OR CONCRETE (C)

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ABBREVIATIONS

ABV	ABOVE
AFF	ABOVE FINISHED FLOOR
AC	ACCOUSTICAL
ACT	ACCOUSTICAL CEILING TILE
	Active
(A)	
ADJ	ADJACENT or ADJUSTABLE
AHU	AIR HANDLING UNIT
ALT	ALTERNATE
ALUM	
	APPROXIMATE
ASI	ARCHITECT'S SUPPLEMENTAL INSTRUCTIONS
ARCH	ARCHITECTURAL (URAL)
ASPH	ASPHALT
AV	audio,Misual
AUTO	AUTOMATIC
AVE	AVENUE
AVG	AVERAGE
BASMT	BASEMENT
BRG	BEARNING
BR	BEER
BIT	BITUMINOUS
BIB	BLOWN IN BLANKET INSUL
BOH	BOTTOM OF HEADER
BLDG	BUILDING
CPT	CARPET
CSMT	CASEMENT
CLG	CEILING
CT	CERAMIC TILE
CLR	CLEAR (ANCE)
	COLUMN
COL	
CONC	CONCRETE MASON BY LINUT
CMU	CONCRETE MASONRY UNIT
CONT	CONTINUOUS
CUST	CUSTOM
TV	TELEVISION
DTL	DETAIL
DIM	DIMENSION
DR	DOOR
DWG	DRAWING
ELEC	ELECTRIC (AL)
ELEV	ELEVATION
EQ	EQUAL
(E)	EXISTING
EXIST	EXISTING
EXT	EXTERIOR
FOS	FACE OF STUD
FIN	FINISH
FF	FINISHED FLOOR
FP	FIREPLACE
FD	FLOOR DRAIN
FLR	FLOOR(ING)
FTG	FOOTING

ftg

FOOTING

FND	FOUNDATION	PLYWD
FBO	FURNISHED BY OTHERS	PT
GALV	GALVANIZED	QT
GA	GAUGE	RE:
GC	GENERAL CONTRACTOR	REF
GL	GLASS or GLAZING	REQD
GWB	GYPSUM WALLBOARD	RESL
HDWR	HARDWARE	REV
HDR	HEADER	R
HVAC	HEATING, VENTILATION and AIR	R&S
	CONDITIONING	RD
HT	HEIGHT	RM
HP	HIGH POINT	RO
HORIZ	HORIZONTAL	R/S
HB	HOSE BIB	SHLDR
HR	HOUR	SIM
INCL	INCLUD(ED)	SPEC
ID	INSIDE DIAMETER	SQ
IBC	INSTALLED BY CONTRACTOR	SF
IBO	INSTALLED BY OTHERS	SS
INSUL	INSULATION	STD
INT	INTERIOR	STL
KIT	KITCHEN	STN
LAM	LAMINATE	STRUCT
LVL	LAMINATED VENEER LUMBER	TEL
LAV	LAVATORY	TV
L	LENGTH	TBD
LTL	LINTEL	T&G
MFR	MANUFACTURER	ТОВ
MAS	MASONRY	ТОС
MO	MASONRY OPENING	ТОР
MATL	MATERIAL	тоя
MAX	MAXIMUM	t O S TOSF
MECH	MECHANICAL	
MC	MEDICINE CABINET	TOW
MTL	METAL	TOF
MIN	MINIMUM	TB
		TC _
MNT	MINUTE	Т
MIR	MIRROR	TYP
MISC	MISCELLANEOUS	UNO
(N)	NEW	VERT
NOM	NOMINAL	WGL
NA	NOT APPLICABLE	WC
NIC	NOT IN CONTRACT	WPM
NTS	NOT TO SCALE	WP
OPG	OPENING	WWF
OPP	OPPOSITE	W.O.
OH	OPPOSITE HAND	\vee
OD	OUTSIDE DIAMETER	WDW
Р	PAINT(ED)	$\mathbb{W}/$
PR	PAIR	W/O
(P)	PASSIVE	WD
PVMT	PAVEMENT	WPT
PL	PLATE	





PLAN

PROJECT NORTH

THIS SYMBOL REFERS TO ACTUAL NORTH.

THIS SYMBOL REFERS TO PLAN (PROJECT) NORTH.

- PLYWOOD
- POINT
- QUARRY TILE
- REFERENCE REFRIGERATOR or REFRIGERATED
- REQUIRED
- RESILIENT
- REVISE, REVISED or REVISION(S)
- riser
- ROD AND SHELF
- ROOF DRAIN
- room
- ROUGH OPENING
- ROUGH SAWN
- SHOULDER
- SIMILAR
- SPECIFICATION(S)
- STANDARD STEEL

TELEPHONE

TELEVISION

TOP OF BEAM

TOP OF STEEL

TOP OF WALL

TOWEL BAR

TREAD

TYPICAL

VERTICAL

TO BE DETERMINED

TOP OF PLYWOOD

TOP OF SUB-FLOOR

TRASH COMPACTOR

TONGUE AND GROOVE

TOP OF CONCRETE SLAB

TOP OF WINDOW/ DOOR FRAME

UNLESS NOTED OTHERWISE

WATER PROOFING MEMBRANE

- STAINLESS STEEL
- stone

- STRUCTURAL

SQUARE SQUARE FEET

GENERAL G-000 G-001

GENERAL NOTES

- ALL DISTRIBUTIONS OF THESE DRAWINGS BY THE GENERAL CONTRACTOR SHALL INCLUDE ALL ADDITIONAL DOCUMENTS ASSOCIATED WITH THIS ISSUE. THESE DOCUMENTS INCLUDE, BUT ARE NOT LIMITED TO, PROJECT MANUAL, SPECIFICATIONS, AND DETAIL MANUAL. FURTHERMORE, NONE OF THE ADDITIONAL DOCUMENTS SHALL BE DISTRIBUTED WITHOUT THESE DRAWINGS.
- 2. IT IS THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS TO ESTABLISH A STANDARD OF QUALITY. THE ARCHITECT RESERVES THE RIGHT TO TAKE EXCEPTIONS TO METHODS AND MATERIALS NOT REFLECTED HEREIN.
- 3. WORK SHALL BE PERFORMED IN A WORKMANLIKE OR CRAFTSMANLIKE MANNER TO THE SATISFACTION OF THE OWNER.
- 4. THE DRAWINGS SHALL NOT BE SCALED TO DETERMINE CONSTRUCTION DIMENSIONS. THE CONTRACTOR AND EACH SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO EXECUTION OF THE WORK, AND SHALL BE RESPONSIBLE FOR THE CORRECT AND ACCURATE LAYOUT AND CONSTRUCTION OF THE PROJECT.
- DIMENSIONS ARE TO FACE OF STUD OR TIMBER, CENTERLINE OF TIMBER AND FACE OF CONCRETE, UNLESS NOTED OTHERWISE.
- 6. (XXX) DENOTES A DOOR. REFER TO PLANS FOR DOOR LOCATIONS. REFER TO DOOR SCHEDULE.
- 7. $\langle x \rangle$ denotes a window. Refer to plans, sections, and elevations for window locations. Refer to WINDOW SCHEDULE.
- 8. REFER TO INTERIORS DOCUMENTS FOR ROOM FINISH SCHEDULE.
- 9. COORDINATE ELECTRICAL AND MECHANICAL WORK WITH STRUCTURAL FRAMING.
- 10. PROVIDE ALL NECESSARY BLOCKING IN STUD WALLS AND CEILINGS. LOCATIONS INCLUDE BUT ARE NOT LIMITED TO TOILETS, BATH ACCESSORIES, CEILING AND WALL MOUNTED ELECTRICAL FIXTURES, SHELVES, CLOSET RODS, CABINETRY, COUNTER TOPS, STAIR HANDRAILS AND FALSE BEAMS.
- 11. CONFIRM DATUM INFORMATION WITH CIVIL PLANS.
- 12. ALL NON 90 DEGREE ANGLES ON PLANS ARE 45 DEGREES UNLESS OTHERWISE NOTED.
- 13. IMMEDIATELY NOTIFY THE ARCHITECT OF ANY DISCREPANCIES. FLOOR PLANS TAKE PRECEDENCE.
- 14. ALL ARCHES ARE TO HAVE A RADIUS THAT EQUALS THE WIDTH OF THE OPENING. THE SPRING LINE OF THE ARCH IS LOCATED AT 7'0" AFF. UNLESS NOTED OTHERWISE.
- 15. WOOD/TIMBER MEMBERS NOTED WITH " (INCH) MARKS REFERS TO THE ACTUAL FINISHED DIMENSION OF THE MEMBER. FOR EXAMPLE 4"X12" REFERS TO A MEMBER THAT MEASURES 4 INCHES WIDE BY 12 INCHES DEEP. MEMBERS NOTED WITHOUT " (INCH) MARKS REFERS TO THE NOMINAL FINISHED DIMENSIONS OF THE MEMBER. FOR EXAMPLE 4X12 REFERS TO A MEMBER THAT MEASURES 3 1/2 INCHES WIDE BY 11 1/4 INCHES DEEP. REFER TO SPECIFICATIONS FOR SURFACE TEXTURE AND FINISH.
- 16. INSTALL PERFORATED PIPE PERIMETER DRAIN AND SOLID PIPE UNDER DRAIN SYSTEMS AS REQUIRED BY THE SOILS REPORT. SLOPE SYSTEM TO DRYWELL OR DAYLIGHT. ALL DOWNSPOUTS ATTACHED TO SOLID PIPE DRAIN SYSTEM AND HEAT TRACED TO 48" BELOW FINISHED GRADE.
- 17. TYPICAL OFFSET OF INTERIOR DOORS IS 6", UNLESS AT END OF CORRIDOR (WHERE THEY ARE CENTERED), OR UNO.
- 18. ALL WINDOW AND DOOR DIMENSIONS ARE TO CENTERLINE OF UNIT, UNO.
- 19. RADON MITIGATION SYSTEM TO BE DESIGN/BUILD W/ SUBCONTRACTOR.

20. THE ARCHITECT & THE ARCHITECT'S CONSULTANT SHALL HAVE NO RESPONSIBILITY(IES) FOR THE DISCOVERY, PRESENCE, HANDLING, REMOVAL OR DISPOSAL OF OR EXPOSURE OF PERSONS TO HAZARDOUS MATERIALS OR TOXIC SUBSTANCES IN ANY FORM AT THE PROJECT SITE.

INDEX OF DRAWINGS

SHEET # SHEET NAME

COVER SHEET PROJECT INFORMATION SURVEY V-001 SURVEY LANDSCAPE L-100 SITE PLAN ARCHITECTURAL 1/8" SCALE UPPER PLANS A-102 UPPER LEVEL PLAN A-103 A-104 RCP PLAN **ROOF PLAN** A-105 A-200 ELEVATION ELEVATION A-201 ELEVATION A-202 SECTIONS A-300 A-301 SECTIONS PARTIAL SECTIONS A-400 SYSTEM DETAILS A-500 A-600 WINDOW & DOOR SCHEDULES EXTERIOR LIGHTING

E-001 EXTERIOR LIGHTING

WELDED WIRE FABRIC WHERE OCCURS WIDTH or WIDE WINDOW WITH WITHOUT WOOD WORK POINT

WATER CLOSET

WATERPROOF(ING)

PROJECT DIRECTORY

ARCHITECT SHEPHERD RESOURCES INC/AIA P.O. Box 840 105 Edwards Village Blvd. Suite C103 Edwards, CO 81632 (Phone) 970.949.3302

STRUCTURAL ENGINEER

KRM CONSULTANTS, Inc. P.O. Box 4572 Vail, CO 81658 (970) 949-9391 LANDSCAPE ARCHITECT N/A

N/A

<u>CIVIL ENGINEER</u> N/A

> <u>SOILS ENGINEER</u> N/A

N/A

INTERIOR FIXED FINISHES

GENERAL CONTRACTOR

VALLEY WIDE BUILDERS

210 Edwards Village Blvd D-109

Alvaro Carrillo

Edwards, CO 81632

(970) 446-6499

(970) 688-6482

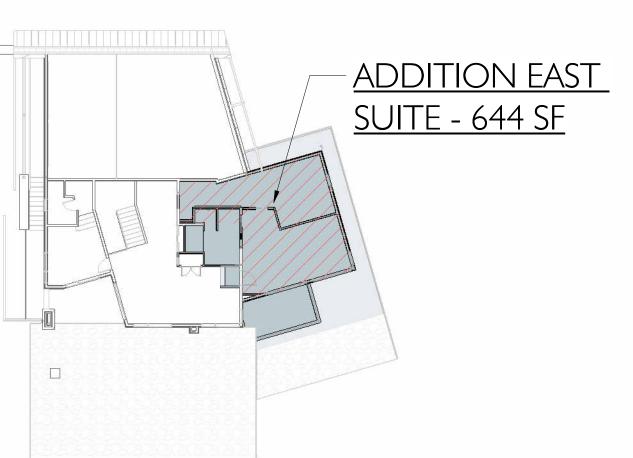
M.E.P. ENGINEER

PROJECT INFORMATION

LEGAL DESCRIPTION: Lot 18, Cordillera Valley Club, Filing No. I NEW CONSTRUCTION CLASS OF WORK: TYPE OF CONSTRUCTION: TYPE V-N TYPE OF OCCUPANCY: AR LEVELS: **3 STORIES** HEIGHT: PARKING: 3 CAR GARAGE FIRE SUPPRESSION SYSTEM: NO CURRENT APPLICABLE CODES: 2021 INTL EXISTING BUILDING CODE 2021 INTL BUILDING CODE 2021 INTL PLUMBING CODE 2021 INTL FUEL GAS CODE 2021 INTL MECHANICAL & ELECTRICAL CODE 2021 INTL FIRE CODE 2021 INTL ENERGY CONSERVATION CODE

AREA CALCULATIONS	
LOWER LEVEL LIVING:	N.I.S NO CHANGE
MAIN LEVEL LIVING:	N.I.S NO CHANGE
UPPER LEVEL LIVING:	644 SF - ADDED
IMPERVIOUS CALCULATION	
IMPERVIOUS CALCULATION	N.I.S NO CHANGE
IMPERVIOUS CALCULATION DRIVEWAY AREA:	N.I.S NO CHANGE N.I.S NO CHANGE
·	

LOT SIZE AREA: N.I.S NO CHANGE **BUILDING FOOTPRINT:** N.I.S NO CHANGE SITE COVERAGE: N.I.S NO CHANGE

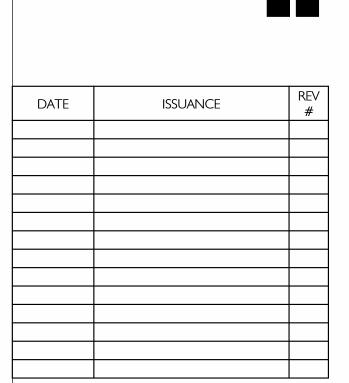


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DRB SUBMITTAL

JANUARY 6, 2025

PROJECT:

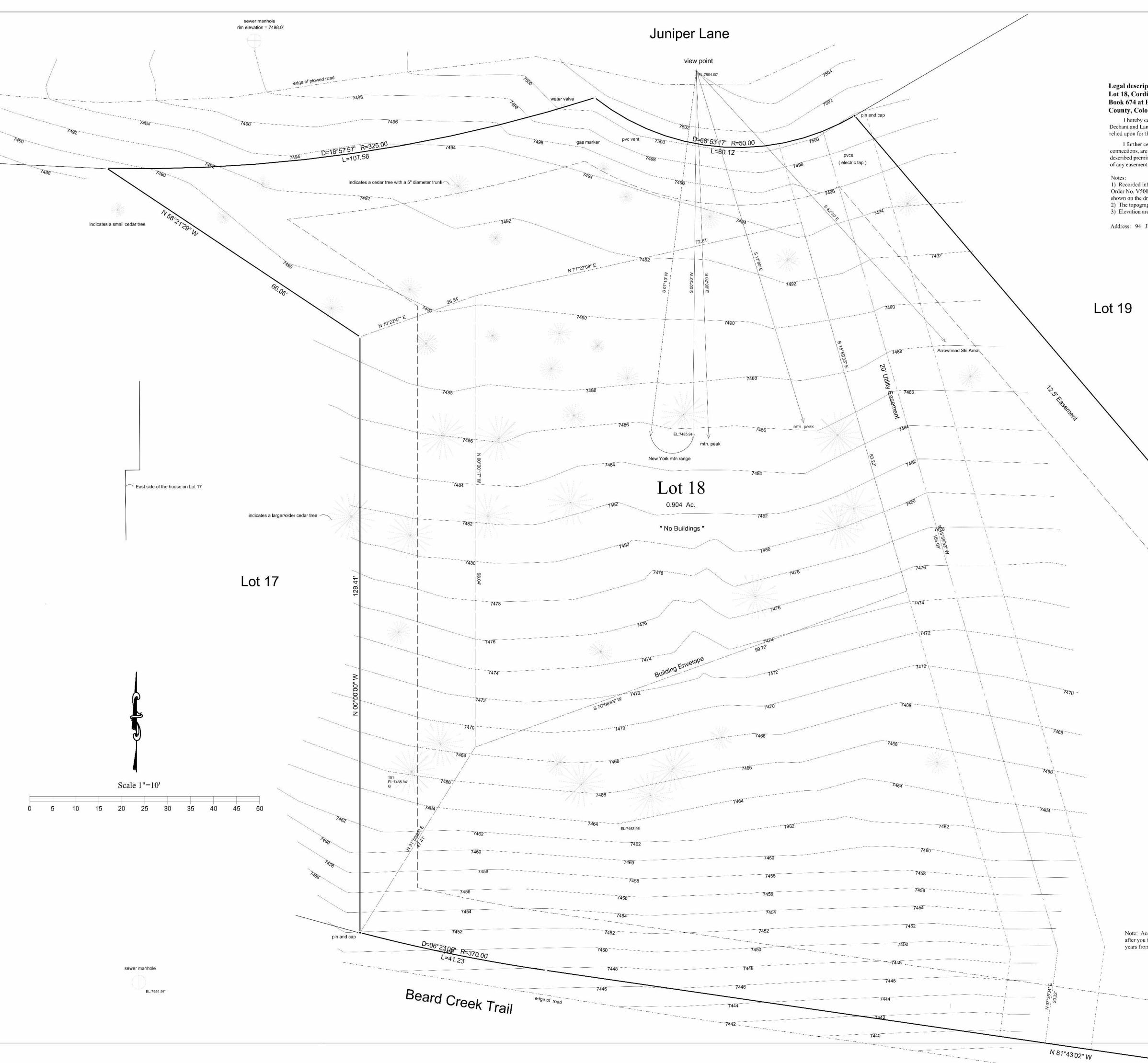
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94 JUNIPER LANE

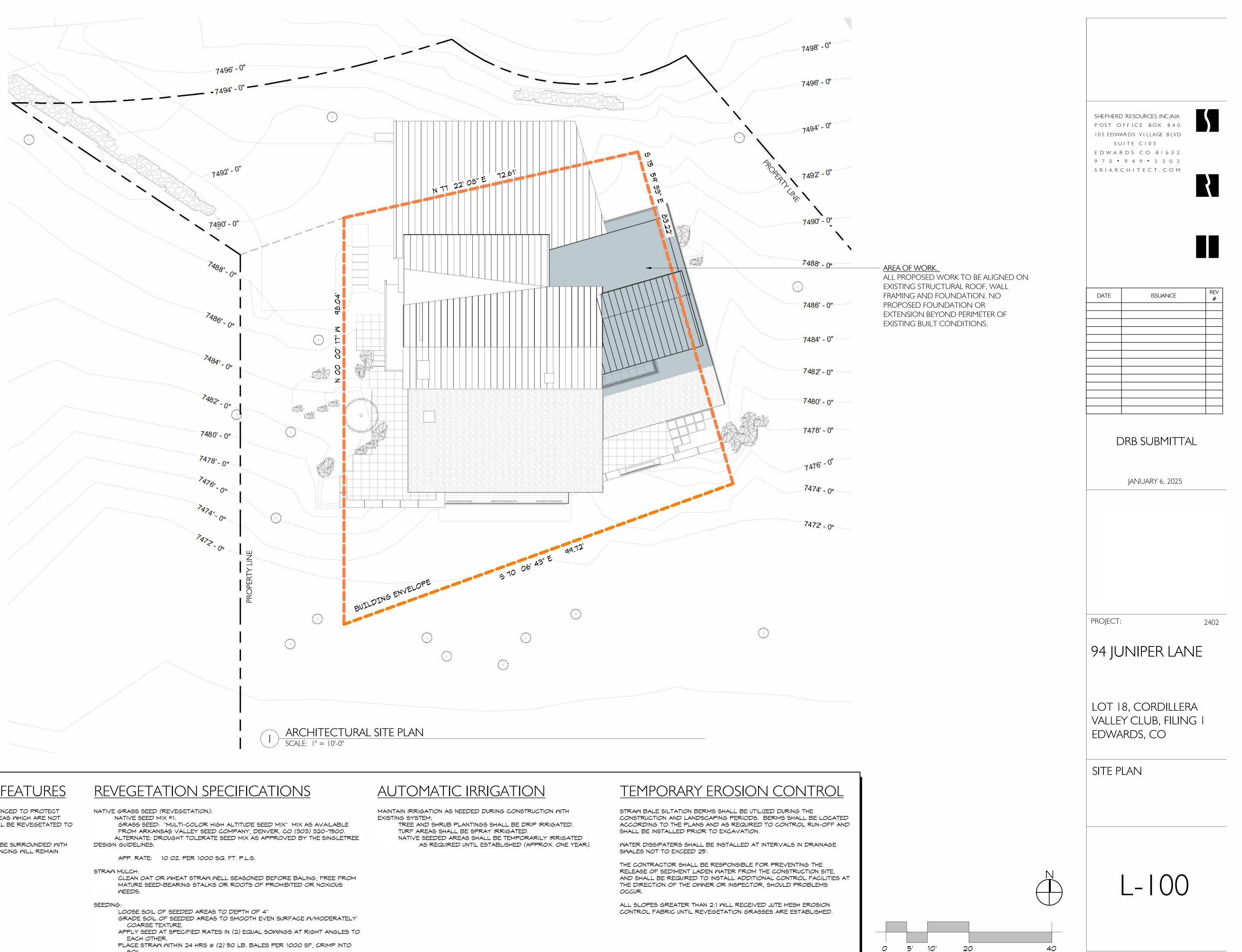
LOT 18, CORDILLERA VALLEY CLUB, FILING I EDWARDS, CO

PROJECT INFORMATION

G-00 |



Improvement Location Certificate			
 interference of the parcel except as shown, that there are no apparent evidence and the times of the parcel, except as indicated, and that there are no apparent evidence and the subject property and are described in a way that allows them to be drawn, are drawing. information and the legal description was provided by Land Title Guarantee Co The casements listed on subject property and are described in a way that allows them to be drawn, are drawing. information and the legal description was provided by Land Title Guarantee Co The casements listed on subject property and are described in a way that allows them to be drawn, are drawing. information and the legal description was provided by Land Title Guarantee Co The casements listed on subject property and are described in a way that allows them to be drawn, are drawing. information and the legal description was provided by Land Title Guarantee Co The casements listed on subject property and are described in a way that allows them to be drawn, are drawing. information and the legal description was provided by Land Title Guarantee Co The casements listed on subject property and are described in a way that allows them to be drawn, are drawing. input subject property and are described in a way that allows them to be drawn, are drawing. input subject property and are described in a way that allows them to be drawn, are drawing. input subject property and are described in a way that allows them to be drawn, are drawing. input subject property and are described in a way that allows them to be drawn, are drawing. 	POSTOF 105 EDWAR SUI E D W A R I 9 7 0 • 9	RESOURCES INC/AIA FICE BOX 840 RDS VILLAGE BLVD TE CI03 DS CO 8I632 949•3302 HITECT.COM	
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	project: 94 JU	NIPER LAN	2402
	VALLEY	8, CORDILLER/ 7 CLUB, FILING RDS, CO Y	
According to Colorado law, you must commence any legal action based upon any defect on this certificate within three years ou first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten rom the date of certification shown hereon. Leland Lechner PLS 30946 County Rd. 356, Buena Vista, Co. 81211 (719) 395-9160		/-001	

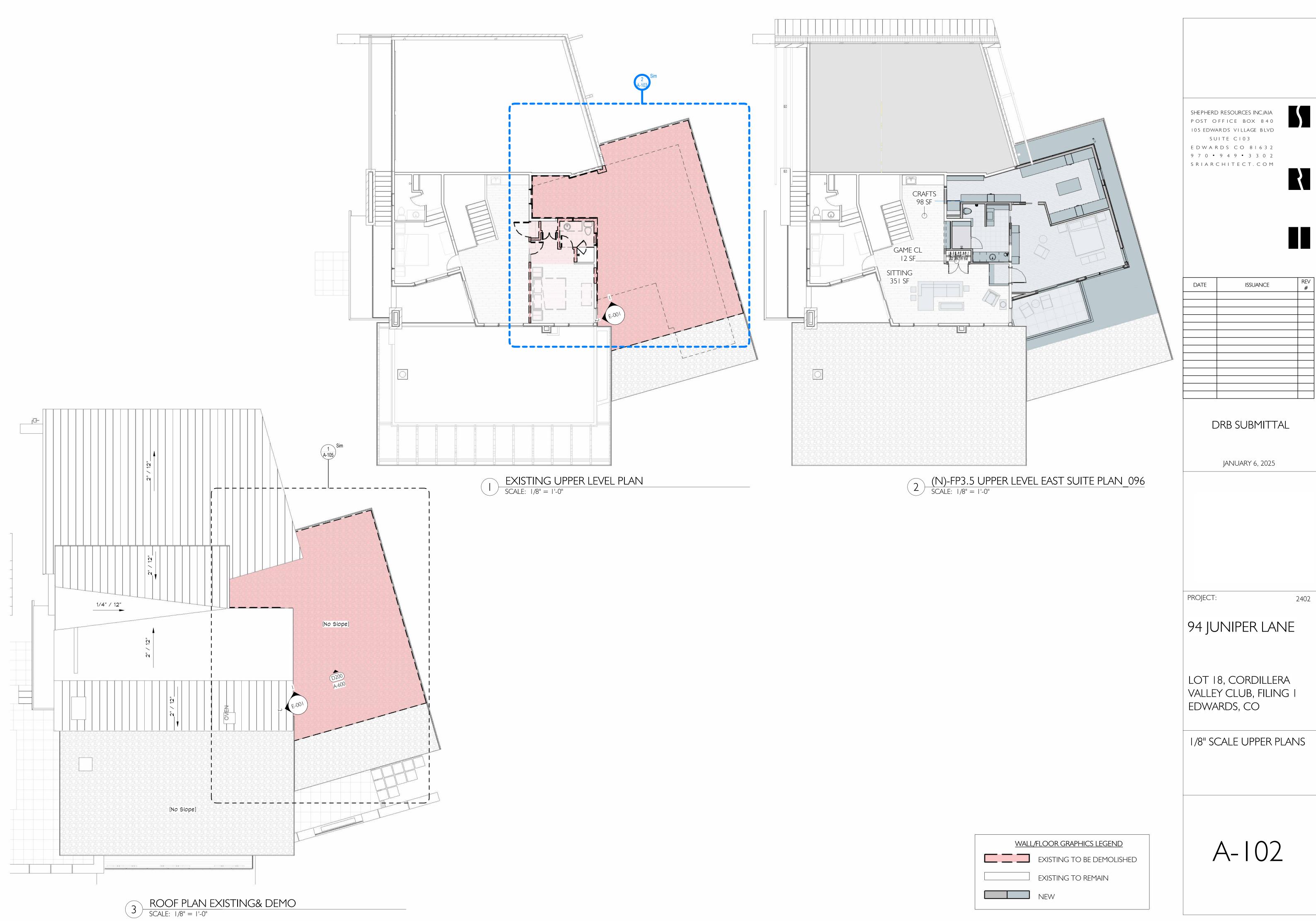


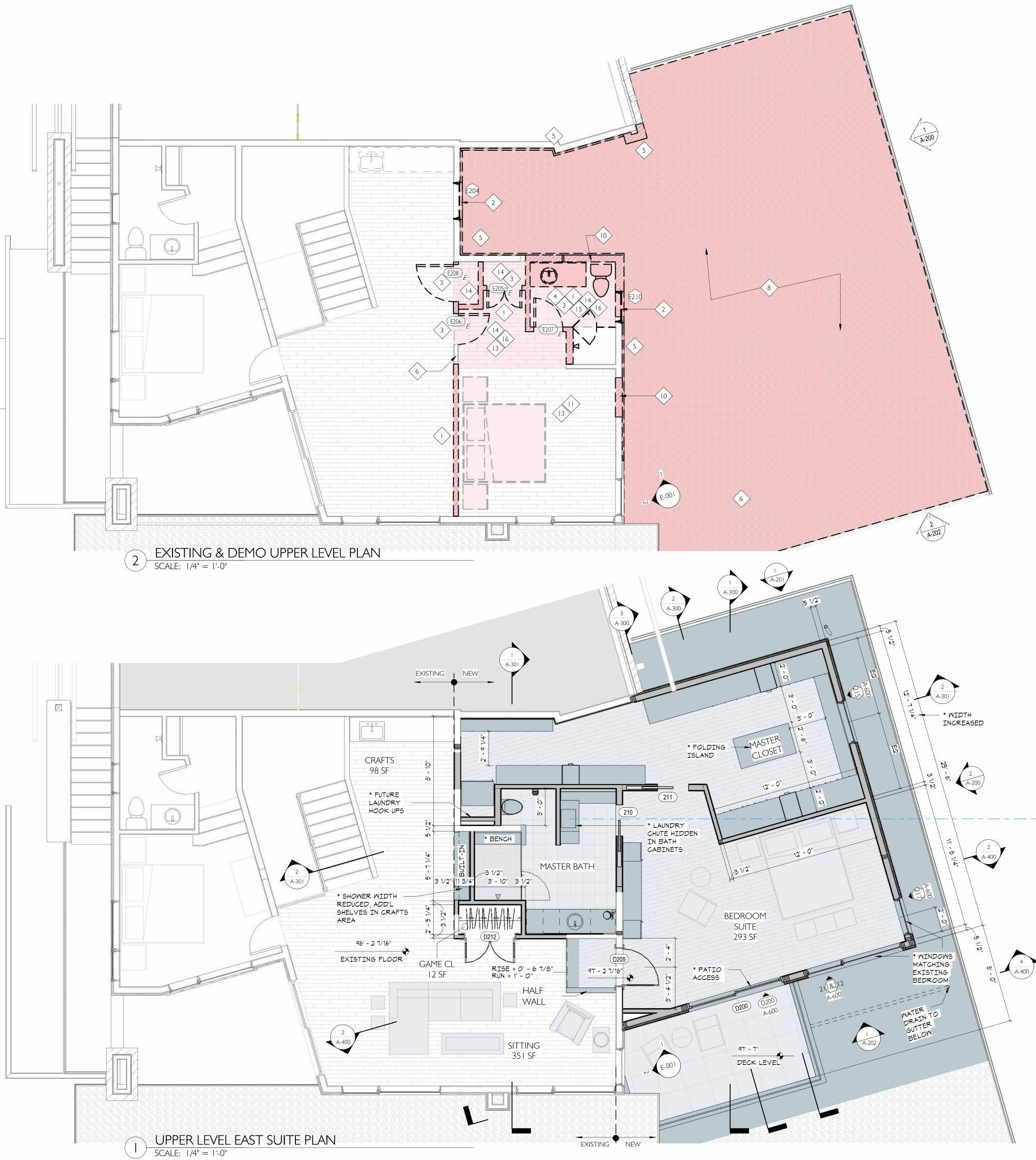
PROTECTING NATURAL FEATURES

THE AREA OF DISRUPTION WILL BE COMPLETELY FENCED TO PROTECT SURROUNDING UNDISTURBED VEGETATION. THE AREAS WHICH ARE NOT LANDSCAPED BUT WITHIN THE DISRUPTION ZONE WILL BE REVEGETATED TO MATCH THE NATURAL VEGETATION.

ALL EXISTING TREES DESIGNATED TO REMAIN WILL BE SURROUNDED WITH SNOW FENCE INSTALLED AT THE DRIP LINE. THE FENCING WILL REMAIN THROUGH THE ENTIRE CONSTRUCTION PERIOD.

- SOIL.







DEMOLITION PREPARATION NOTES:

PRECAUTIONS TO SUPPORT STRUCTURE UNTIL DEMOLITION OPERTATIONS.

GENERAL DEMOLITION.

DURING DEMOLITION.

WORK.

TO ACCUMULATE ON SITE.

GENERAL DEMOLITION NOTES:

DOCUMENTS.

ARCHITECT UNLESS OTHERWISE NOTED IN THE CONSTRUCTION DOCUMENTS.

- REMOVE ALL BATHROOM TILE.

- REMOVE FLOOR FINISHES AS NOTED.

FIELD CONDITIONS.

- PROVIDE INTERIOR AND EXTERIOR SHORING, BRACING OR SUPPORT TO PREVENT MOVEMENT, SETTLEMENT OR COLLASPE OF AREAS TO BE DEMOLISHED AND AREAS ADJACENT TO DEMOLITION WORK, RE: STRUCT.
- CEASE OPERATION AND NOTIFY ARCHITECT AND/OR STRUCTURAL ENGINEER IMMEDIATELY IF INTEGRITY OF STRUCTURE APPEARS TO BE AT RISK OF FAILURE. TAKE DETERMINATION IS MADE PRIOR TO CONTINUING
- DRAWINGS DO NOT INCLUDED MECHANICAL / ELECTRICAL DEMOLITION AND THE EFFECTS ON AREAS INDICATED AS
- -CONTRACTOR IS TO BE RESPONSIBLE FOR PROTECTION OF ALL EXISTING ELEMENTS TO REMAIN FROM DAMAGE
- CONTRACTOR SHALL PATCH AND REPAIR EXISTING CONSTRUCTION THAT MAY HAVE BEEN DAMAGED DURING THE DEMOLITION PROCESS AS REQUIRED FOR COMPLETION OF
- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND LEGALLY DISPOSING OF ALL DEMOLITION DEBRIS. CONTRACTOR SHALL NOT ALLOW ANY EXCESSIVE DEBRIS

- -DASHED LINES INDICATE AREAS / ITEMS TO BE DEMOLISHED. REFER TO PROPOSED PLANS FOR INTENDED SCOPE OF WORK. CONSULT WITH ARCHITECT TO VERIFY SCOPE OF WORK NOT CLEARLY ILLUSTRATED IN THESE
- CONTRACTOR SHALL EXPOSE STRUCTURAL FRAMING. ALL FRAMING, AND STRUCTURAL COMPONENTS SHALL REMAIN UNTIL REVIEWED BY THE STRUCTURAL ENGINEER OR
- REMOVE INTERIOR TRIM IN AREAS OF DEMOLITION.
- -ADDITIONAL DEMOLITION MAY BE REQUIRED TO ALLOW COORDINATION OF PROPOSED MECHANICAL & PLUMBING W/ SUBCONTRACTORS. NOTIFY ARCHITECT W/ CONFLICTING

DEMOLITION KEYNOTES:

- REMOVE EXISTING INTERIOR PARTITION INCLUDING ELECTRICAL WIRING, DEVICES, ETC. TERMINATE IN ACCORDANCE WITH NEC REQUIREMENTS.
- REMOVE EXTERIOR WINDOW(S) OR DOOR(S) FRAMES AND HARDWARE. REMOVE PORTION OF EXISTING WALL CONSTRUCTION ASSEMBLY AS REQUIRED TO ALLOW FOR THE FRAMING OF PROPOSED WALLS, WINDOWS OR DOORS AS INDICATED ON PROPOSED FLOOR PLAN.
- REMOVE DOOR, FRAME, TRIM. AND CASING.
- REMOVE PLUMBING FIXTURES, INCLUDING SHOWER ENCLOSURES, HARDWARE, SHOWERS, WATER CLOSETS & LAVATORIES. ALL PLUMBING CONNECTIONS SHALL BE CAPPED WITHIN THE WALL OR FLOOR STRUCTURE AS REQUIRED.
- REMOVE EXTERIOR WALL FINISH SYSTEM TO STRUCTURAL WALL.
- RESERVED.

4.

8.

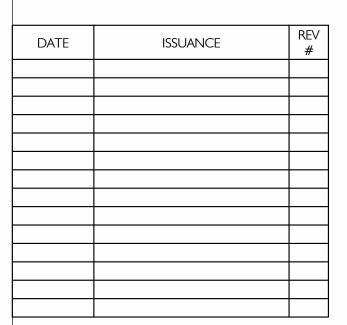
- 7. REMOVE ROOF SOFFIT AND FASCIA.
- REMOVE FINISHED ROOF.
- 9. SELECTIVE ROOF DEMOLITION.
- SELECTIVE DEMOLITION EXISTING FRAMING & 10. FINISHES. VERIFY EXISTING STRUCTURAL SUPPORTS AND REFER TO STRUCTURAL DOCUMENTS FOR ADDITIONAL INFORMATION.
- VERIFY EXISTING MECHANICAL & PLUMBING 11. PRIOR TO DEMOLITION. COORDINATE WITH CONTRACTOR FOR DESIGN/BUILD RELOCATE AND VERIFY W/ ARCHITECT ANY UNKNOWN EXISTING CONDITIONS.
- 12. REMOVE EXISTING LOG/COLUMN AND/OR MODIFY PER STRUCTURAL DOCUMENTS.
- EXISTING FLOOR FINISH TO BE REMOVED AS 13. NEEDED. VERIFY INTERIOR DOCUMENTS & PROPOSED PLAN FOR FLOOR/SILL TRANSITIONS OF EXISTING TO PROPOSED MATERIALS.
- REMOVE CEILING IN ROOM. 14.
- REMOVE CASEWORK & COUNTERTOPS.
- 16. REMOVE EXISTING FINISHES.
- 17. MECHANICAL EQUIPMENT AND ELECTRICAL PANEL TO BE RELOCATED WITHIN THE EXISTING ROOM.
- 18. CEILING TO REMAIN.

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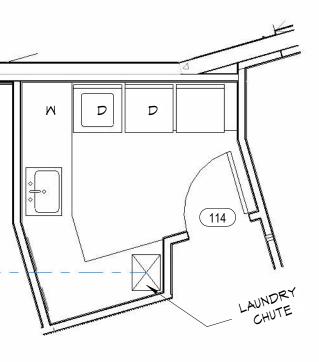




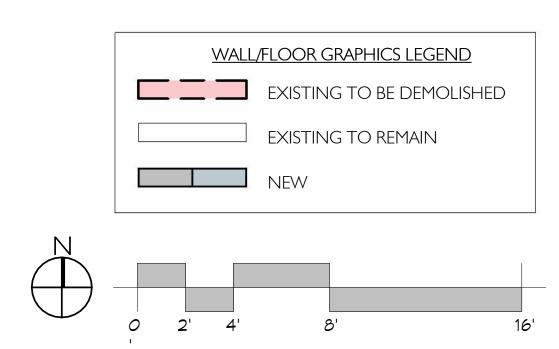


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JANUARY 6, 2025



3 MAIN LEVEL LAUNDRY RM. SCALE: 1/4" = 1'-0"



PROJECT:

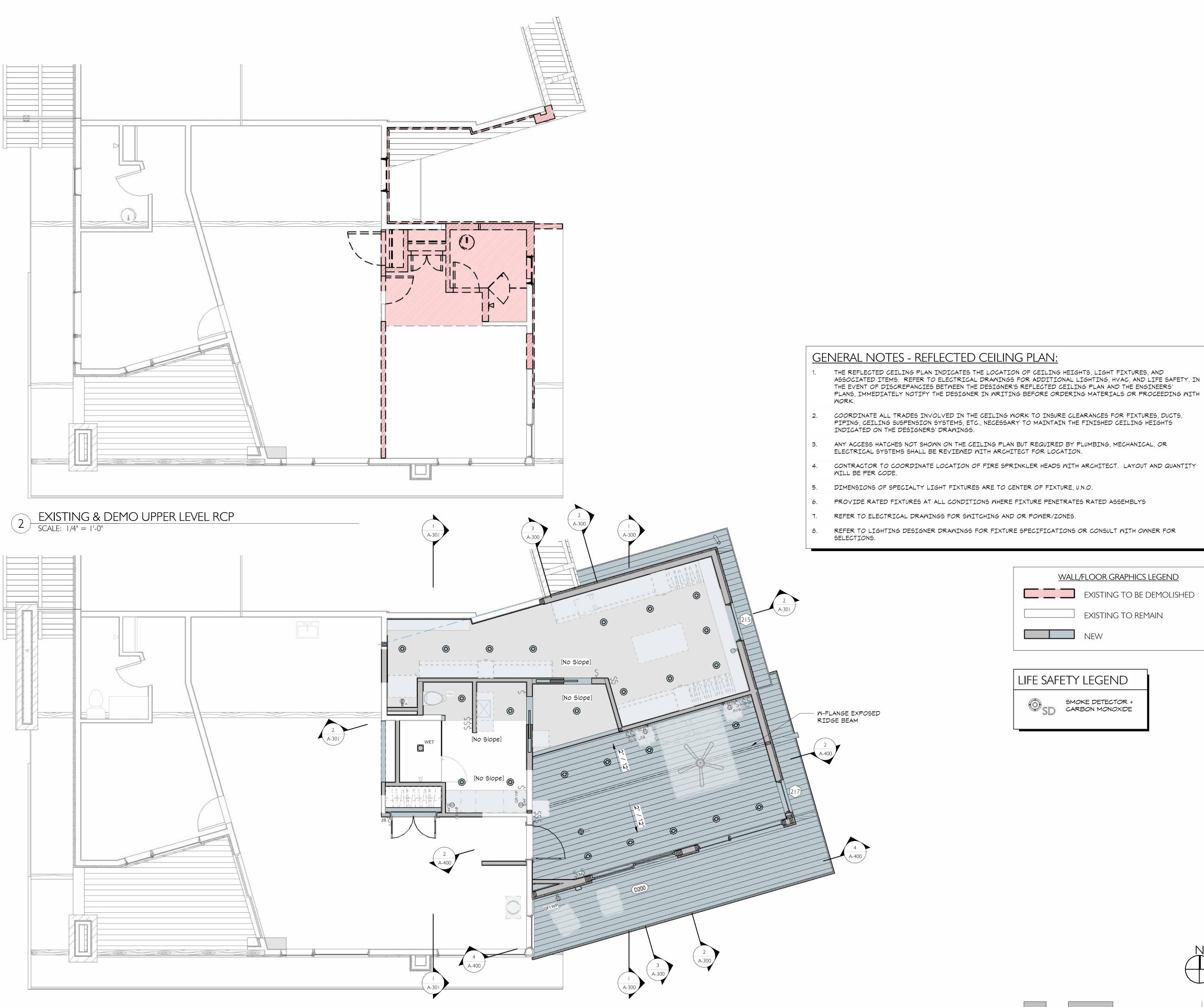
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94 JUNIPER LANE

LOT 18, CORDILLERA VALLEY CLUB, FILING I EDWARDS, CO

UPPER LEVEL PLAN



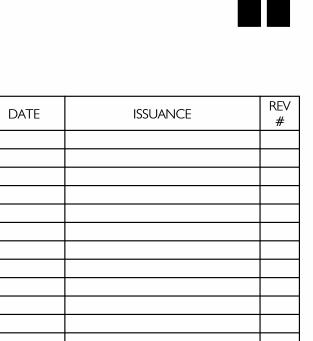


UPPER LEVEL RCP SCALE: 1/4" = 1'-0"

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S R I A R C H I T E C T . C O M





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JANUARY 6, 2025

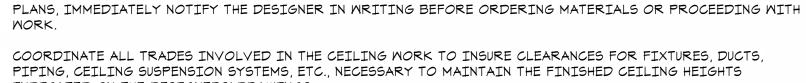
PROJECT:

2402

94 JUNIPER LANE

LOT 18, CORDILLERA VALLEY CLUB, FILING I EDWARDS, CO

RCP PLAN



ANY ACCESS HATCHES NOT SHOWN ON THE CEILING PLAN BUT REQUIRED BY PLUMBING, MECHANICAL, OR ELECTRICAL SYSTEMS SHALL BE REVIEWED WITH ARCHITECT FOR LOCATION.

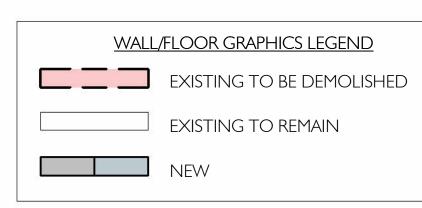
CONTRACTOR TO COORDINATE LOCATION OF FIRE SPRINKLER HEADS WITH ARCHITECT. LAYOUT AND QUANTITY

DIMENSIONS OF SPECIALTY LIGHT FIXTURES ARE TO CENTER OF FIXTURE, U.N.O.

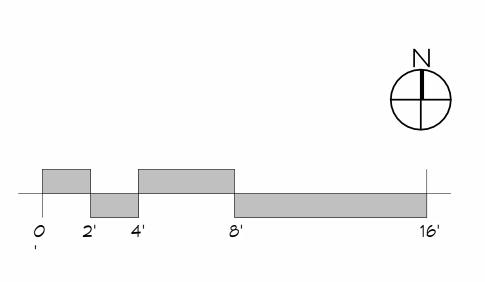
PROVIDE RATED FIXTURES AT ALL CONDITIONS WHERE FIXTURE PENETRATES RATED ASSEMBLYS

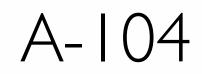
REFER TO ELECTRICAL DRAWINGS FOR SWITCHING AND OR POWER/ZONES.

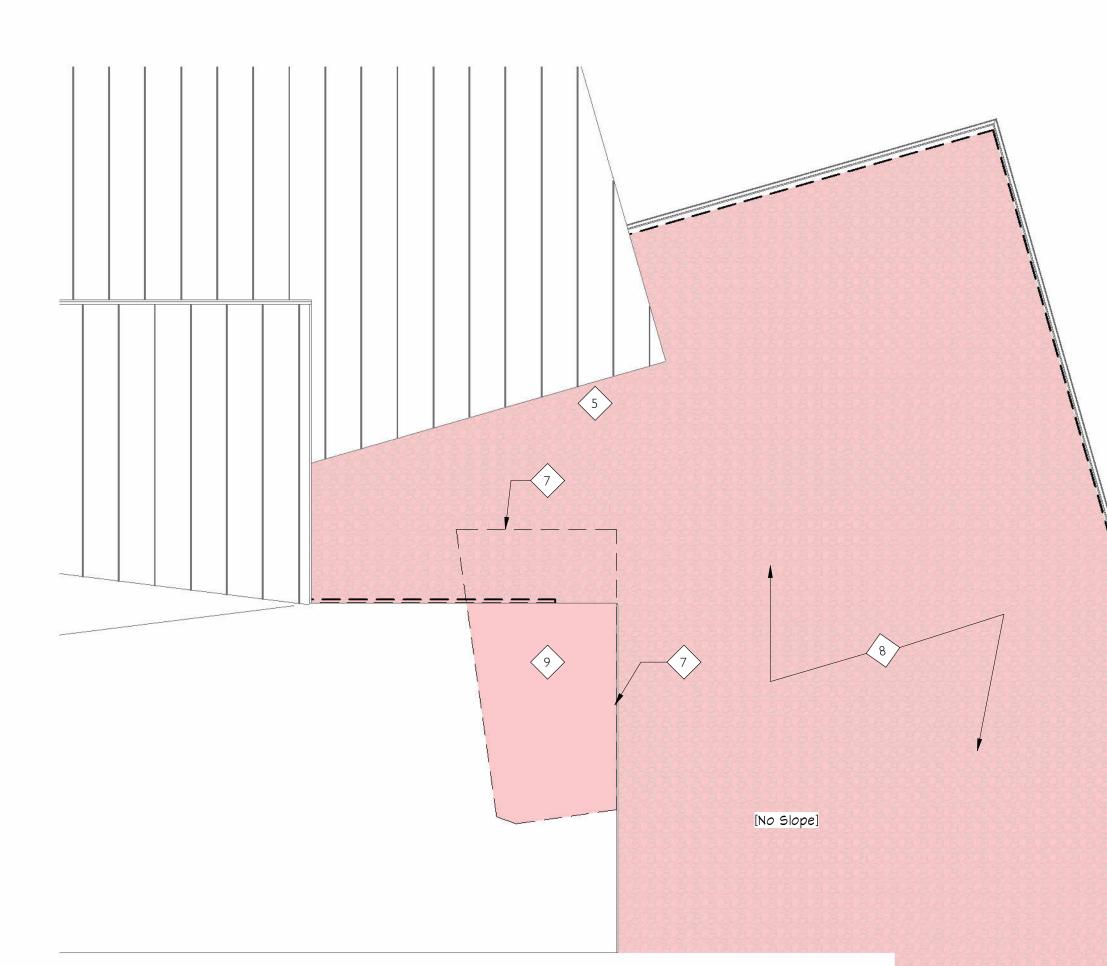
REFER TO LIGHTING DESIGNER DRAWINGS FOR FIXTURE SPECIFICATIONS OR CONSULT WITH OWNER FOR











DEMOLITION PREPARATION NOTES:

- PROVIDE INTERIOR AND EXTERIOR SHORING, BRACING OR SUPPORT TO PREVENT MOVEMENT, SETTLEMENT OR COLLASPE OF AREAS TO BE DEMOLISHED AND AREAS ADJACENT TO DEMOLITION WORK. RE: STRUCT.

- CEASE OPERATION AND NOTIFY ARCHITECT AND/OR STRUCTURAL ENGINEER IMMEDIATELY IF INTEGRITY OF STRUCTURE APPEARS TO BE AT RISK OF FAILURE. TAKE PRECAUTIONS TO SUPPORT STRUCTURE UNTIL DETERMINATION IS MADE PRIOR TO CONTINUING DEMOLITION OPERTATIONS.

- DRAWINGS DO NOT INCLUDED MECHANICAL / ELECTRICAL DEMOLITION AND THE EFFECTS ON AREAS INDICATED AS GENERAL DEMOLITION.

-CONTRACTOR IS TO BE RESPONSIBLE FOR PROTECTION OF ALL EXISTING ELEMENTS TO REMAIN FROM DAMAGE DURING DEMOLITION.

- CONTRACTOR SHALL PATCH AND REPAIR EXISTING CONSTRUCTION THAT MAY HAVE BEEN DAMAGED DURING THE DEMOLITION PROCESS AS REQUIRED FOR COMPLETION OF MORK.

- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND LEGALLY DISPOSING OF ALL DEMOLITION DEBRIS. CONTRACTOR SHALL NOT ALLOW ANY EXCESSIVE DEBRIS TO ACCUMULATE ON SITE.

GENERAL DEMOLITION NOTES:

-DASHED LINES INDICATE AREAS / ITEMS TO BE DEMOLISHED. REFER TO PROPOSED PLANS FOR INTENDED SCOPE OF WORK. CONSULT WITH ARCHITECT TO VERIFY SCOPE OF WORK NOT CLEARLY ILLUSTRATED IN THESE DOCUMENTS.

- CONTRACTOR SHALL EXPOSE STRUCTURAL FRAMING. ALL FRAMING, AND STRUCTURAL COMPONENTS SHALL REMAIN UNTIL REVIEWED BY THE STRUCTURAL ENGINEER OR ARCHITECT UNLESS OTHERWISE NOTED IN THE CONSTRUCTION DOCUMENTS.

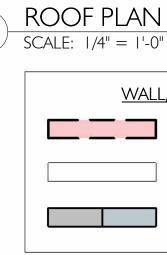
- REMOVE INTERIOR TRIM IN AREAS OF DEMOLITION.

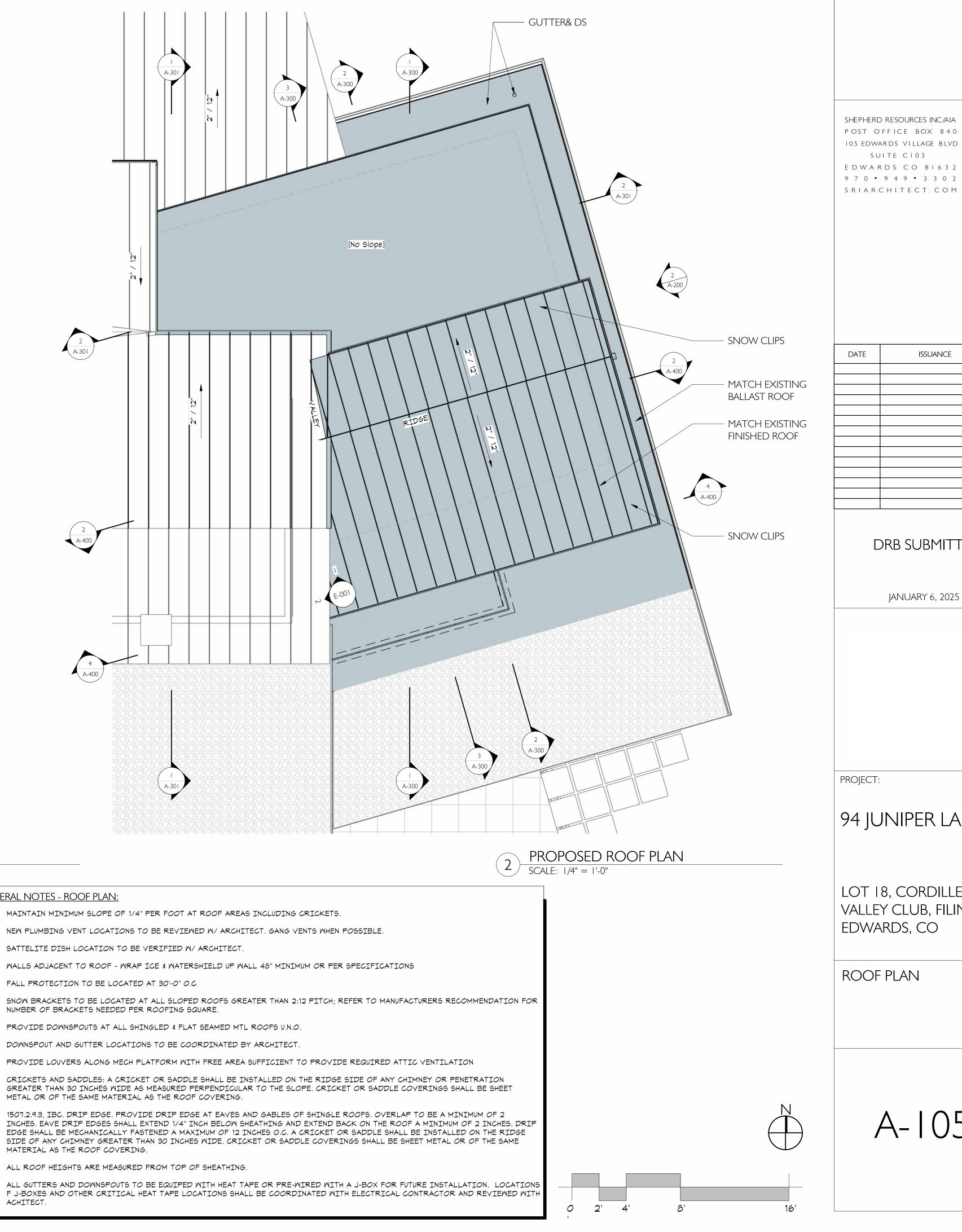
- REMOVE ALL BATHROOM TILE.
- REMOVE FLOOR FINISHES AS NOTED.

-ADDITIONAL DEMOLITION MAY BE REQUIRED TO ALLOW COORDINATION OF PROPOSED MECHANICAL & PLUMBING W/ SUBCONTRACTORS. NOTIFY ARCHITECT W/ CONFLICTING FIELD CONDITIONS.

DEMOLITION KEYNOTES:

- REMOVE EXISTING INTERIOR PARTITION INCLUDING ELECTRICAL WIRING, DEVICES, ETC. TERMINATE IN ACCORDANCE WITH NEC REQUIREMENTS.
- REMOVE EXTERIOR WINDOW(S) OR DOOR(S) FRAMES AND HARDWARE. REMOVE PORTION OF EXISTING WALL CONSTRUCTION ASSEMBLY AS REQUIRED TO ALLOW FOR THE FRAMING OF PROPOSED WALLS, WINDOWS OR DOORS AS INDICATED ON PROPOSED FLOOR PLAN.
- REMOVE DOOR, FRAME, TRIM. AND CASING. 3
- REMOVE PLUMBING FIXTURES, INCLUDING 4. SHOWER ENCLOSURES, HARDWARE, SHOWERS, WATER CLOSETS & LAVATORIES. ALL PLUMBING CONNECTIONS SHALL BE CAPPED WITHIN THE WALL OR FLOOR STRUCTURE AS REQUIRED.
- REMOVE EXTERIOR WALL FINISH SYSTEM TO 5. STRUCTURAL WALL.
- RESERVED. 6.
- REMOVE ROOF SOFFIT AND FASCIA. ٦.
- REMOVE FINISHED ROOF. 8.
- 9. SELECTIVE ROOF DEMOLITION.
- 10. SELECTIVE DEMOLITION EXISTING FRAMING & FINISHES. VERIFY EXISTING STRUCTURAL SUPPORTS AND REFER TO STRUCTURAL DOCUMENTS FOR ADDITIONAL INFORMATION.
- VERIFY EXISTING MECHANICAL & PLUMBING 11. PRIOR TO DEMOLITION. COORDINATE WITH CONTRACTOR FOR DESIGN/BUILD RELOCATE AND VERIFY W/ ARCHITECT ANY UNKNOWN EXISTING CONDITIONS.
- 12. REMOVE EXISTING LOG/COLUMN AND/OR MODIFY PER STRUCTURAL DOCUMENTS.
- 13. EXISTING FLOOR FINISH TO BE REMOVED AS NEEDED. VERIFY INTERIOR DOCUMENTS & PROPOSED PLAN FOR FLOOR/SILL TRANSITIONS OF EXISTING TO PROPOSED MATERIALS.
- 14. REMOVE CEILING IN ROOM.
- 15. REMOVE CASEWORK & COUNTERTOPS.
- 16. REMOVE EXISTING FINISHES.
- 17. MECHANICAL EQUIPMENT AND ELECTRICAL PANEL TO BE RELOCATED WITHIN THE EXISTING ROOM.
- 18. CEILING TO REMAIN.





ROOF PLAN EXISTING& DEMO

WALL/FLOOR GRAPHICS LEGEND

EXISTING TO BE DEMOLISHED

EXISTING TO REMAIN

GENERAL NOTES - ROOF PLAN:

- MAINTAIN MINIMUM SLOPE OF 1/4" PER FOOT AT ROOF AREAS INCLUDING CRICKETS
- 2. NEW PLUMBING VENT LOCATIONS TO BE REVIEWED W/ ARCHITECT. GANG VENTS WHEN POSSIBLE.
- SATTELITE DISH LOCATION TO BE VERIFIED W/ ARCHITECT.
- WALLS ADJACENT TO ROOF WRAP ICE & WATERSHIELD UP WALL 48" MINIMUM OR PER SPECIFICATIONS 4.
- FALL PROTECTION TO BE LOCATED AT 30'-0" O.C
- NUMBER OF BRACKETS NEEDED PER ROOFING SQUARE.
- PROVIDE DOWNSPOUTS AT ALL SHINGLED & FLAT SEAMED MTL ROOFS U.N.O.
- DOWNSPOUT AND GUTTER LOCATIONS TO BE COORDINATED BY ARCHITECT.
- PROVIDE LOUVERS ALONG MECH PLATFORM WITH FREE AREA SUFFICIENT TO PROVIDE REQUIRED ATTIC VENTILATION 10.
- METAL OR OF THE SAME MATERIAL AS THE ROOF COVERING.
- 11 MATERIAL AS THE ROOF COVERING.
- 12. ALL ROOF HEIGHTS ARE MEASURED FROM TOP OF SHEATHING.
- 13. ACHITECT.

POST OFFICE BOX 840 105 EDWARDS VILLAGE BLVD SUITE CIO3 EDWARDS CO 81632 970•949•3302





DATE	ISSUANCE	REV #

JANUARY 6, 2025

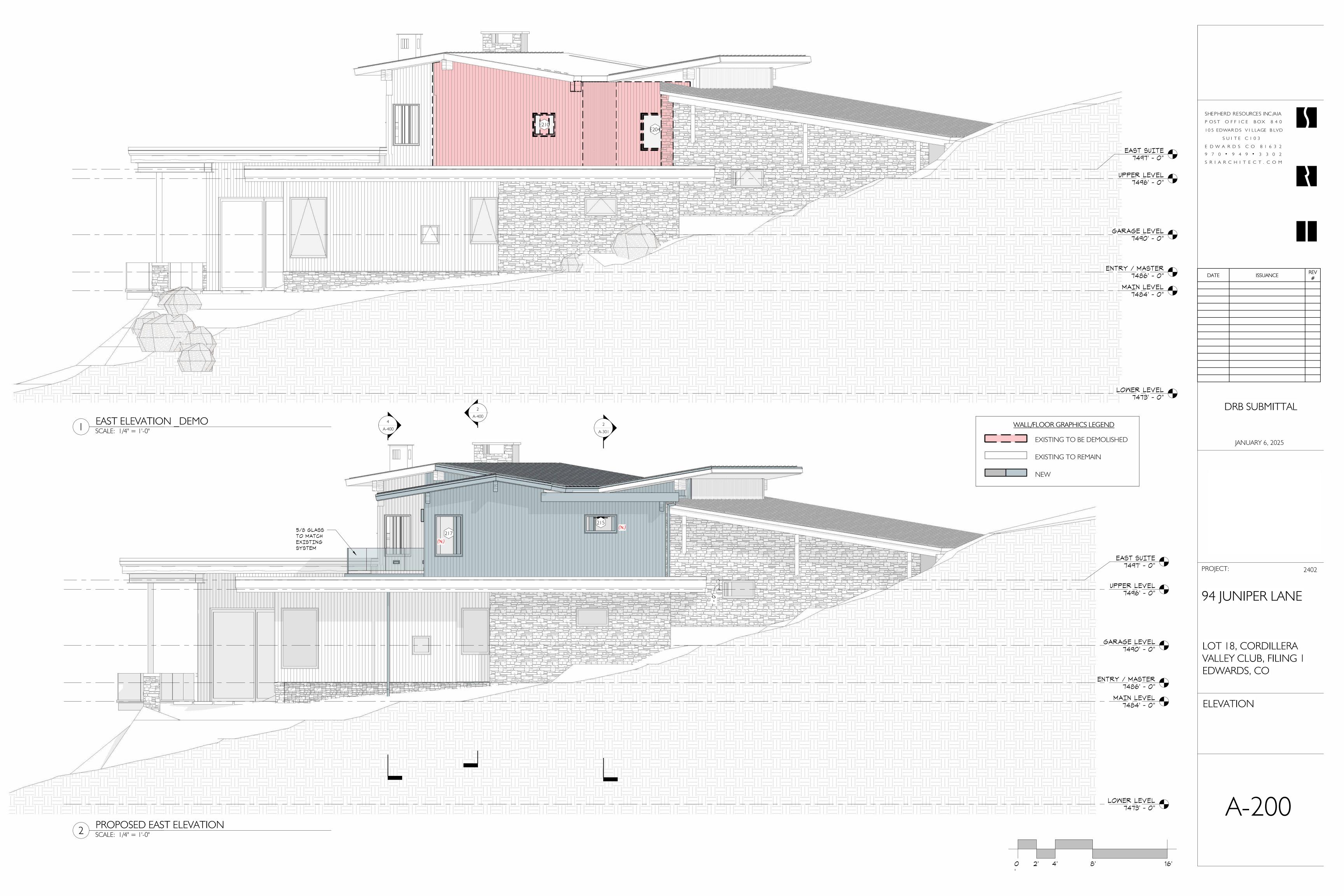
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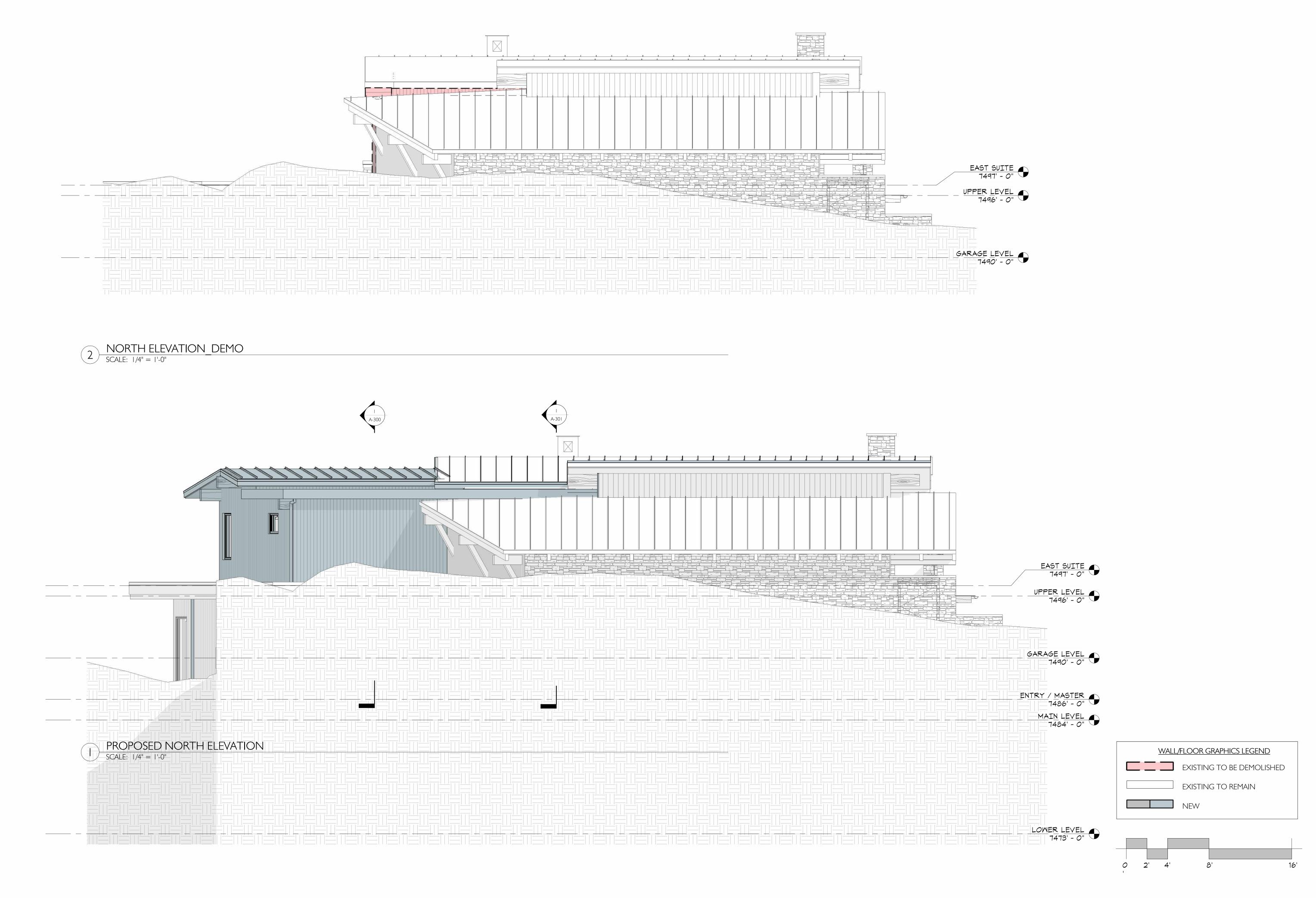
94 JUNIPER LANE

LOT 18, CORDILLERA VALLEY CLUB, FILING I EDWARDS, CO

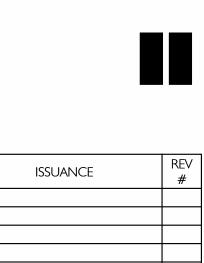
ROOF PLAN

A-105





Shepherd Resources INC/AIA	
POST OFFICE BOX 840	
105 EDWARDS VILLAGE BLVD	
SUITE CI03	
EDWARDS CO 81632	
970•949•3302	
S R I A R C H I T E C T . C O M	



DATE

JANUARY 6, 2025

PROJECT:

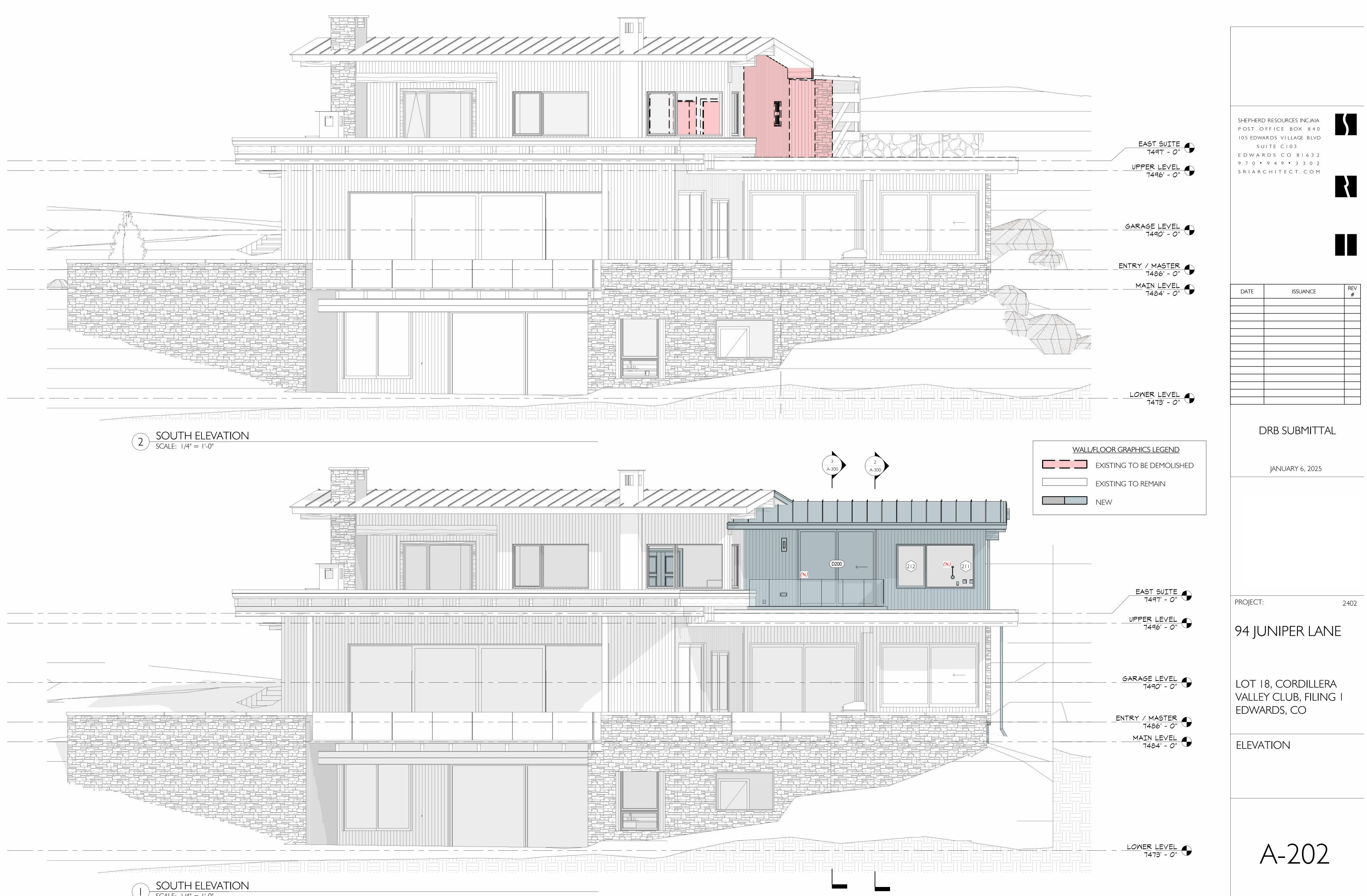
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94 JUNIPER LANE

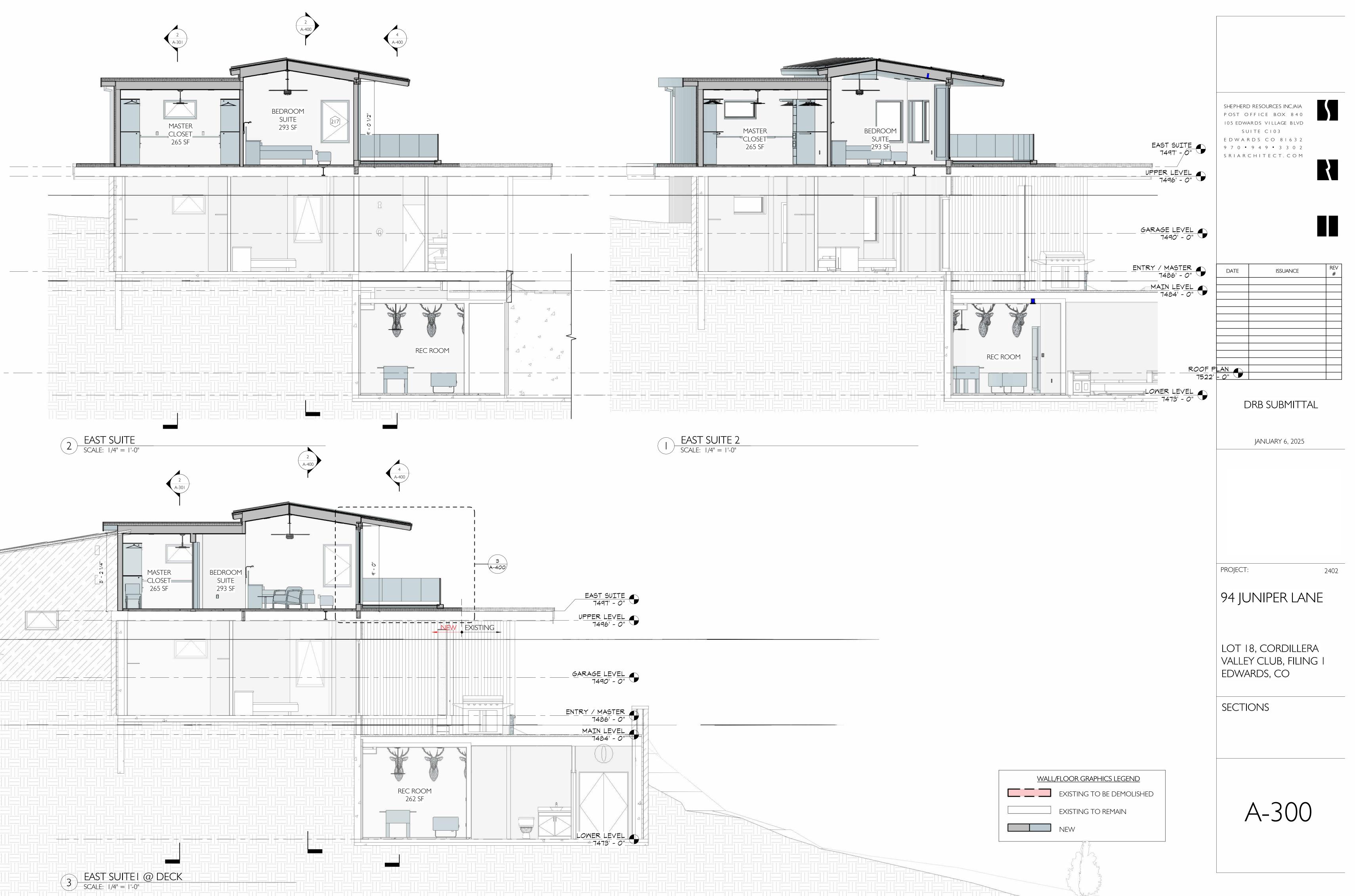
LOT 18, CORDILLERA VALLEY CLUB, FILING 1 EDWARDS, CO

ELEVATION

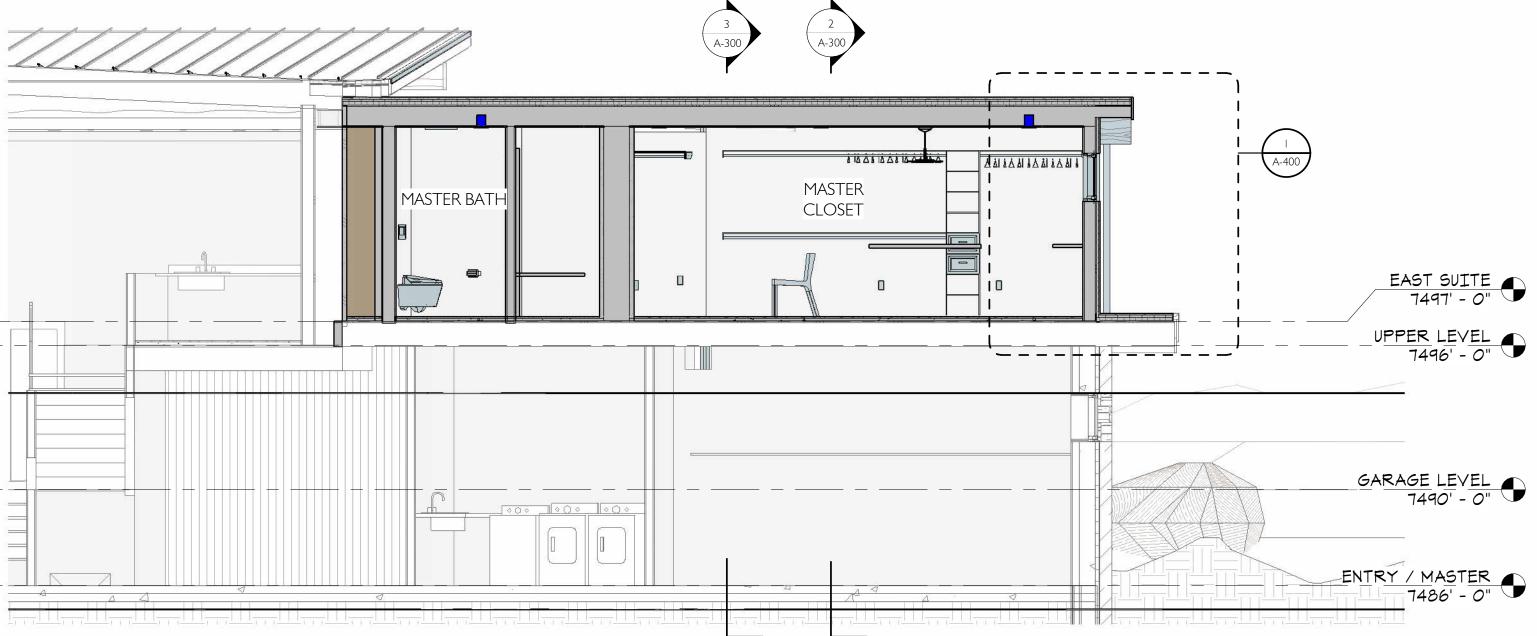




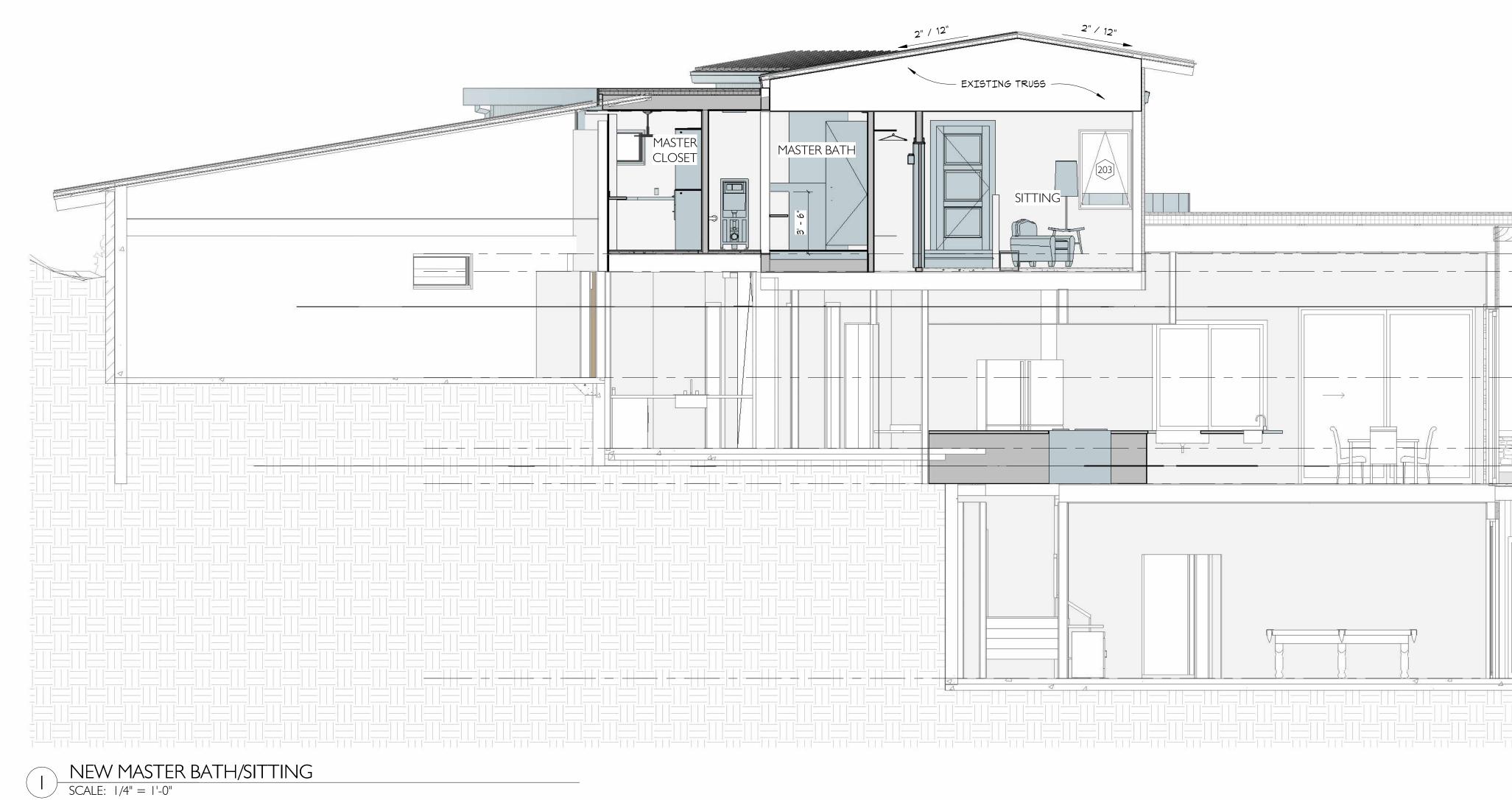
SOUTH ELEVATION SCALE: 1/4" = 1'-0"











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EAST SUITE 7497' - 0" JT MEDT _UPPER LEVEL 7496' - 0" _____ _ _ _ _ _ _ _ _ _ GARAGE LEVEL ENTRY / MASTER 7486' - 0" MAIN LEVEL 7484' - 0" LOWER LEVEL

DATE	ISSUANCE	REV #

DRB SUBMITTAL

JANUARY 6, 2025

PROJECT:

2402

94 JUNIPER LANE

LOT 18, CORDILLERA VALLEY CLUB, FILING I EDWARDS, CO

SECTIONS

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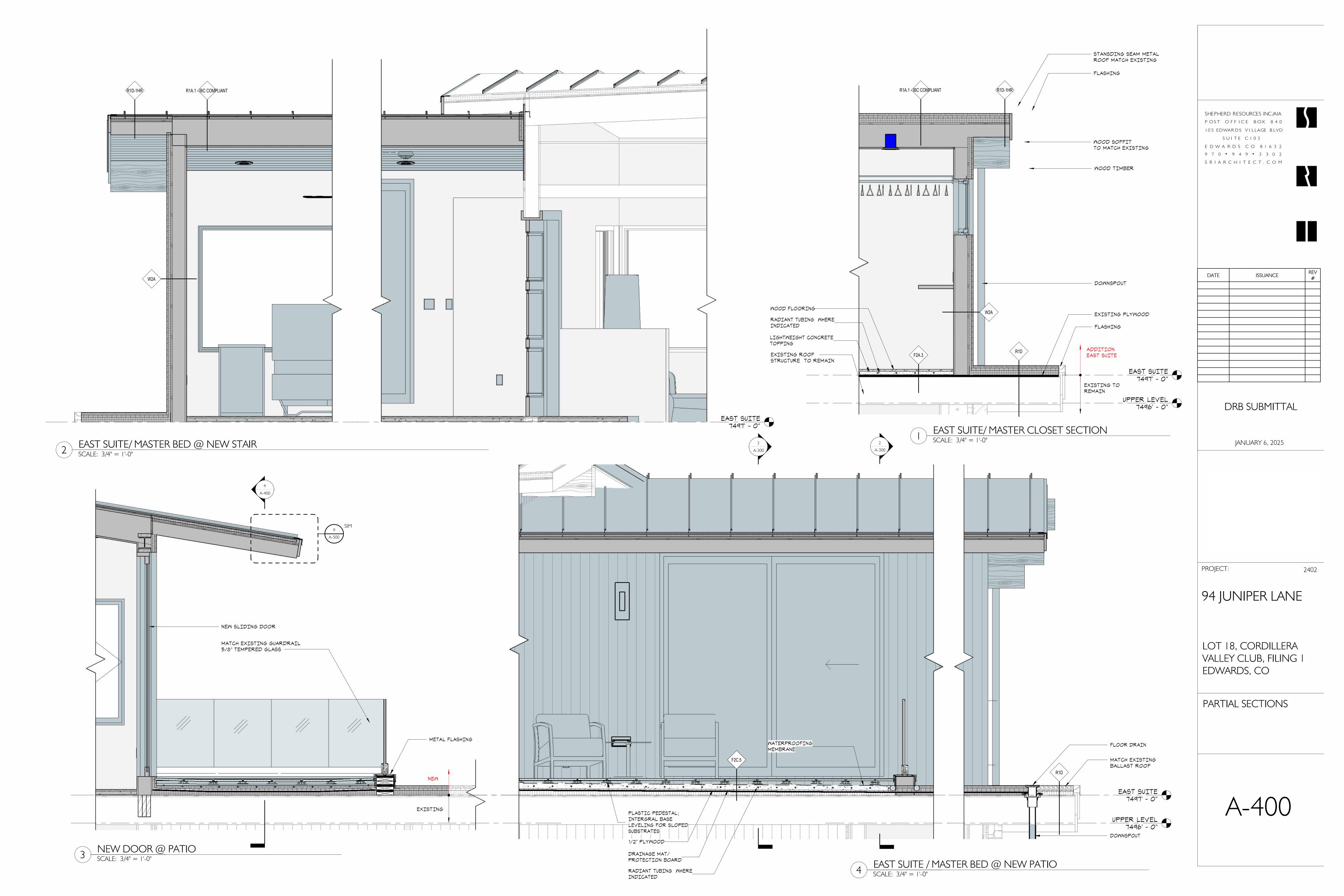
	WALL,	/

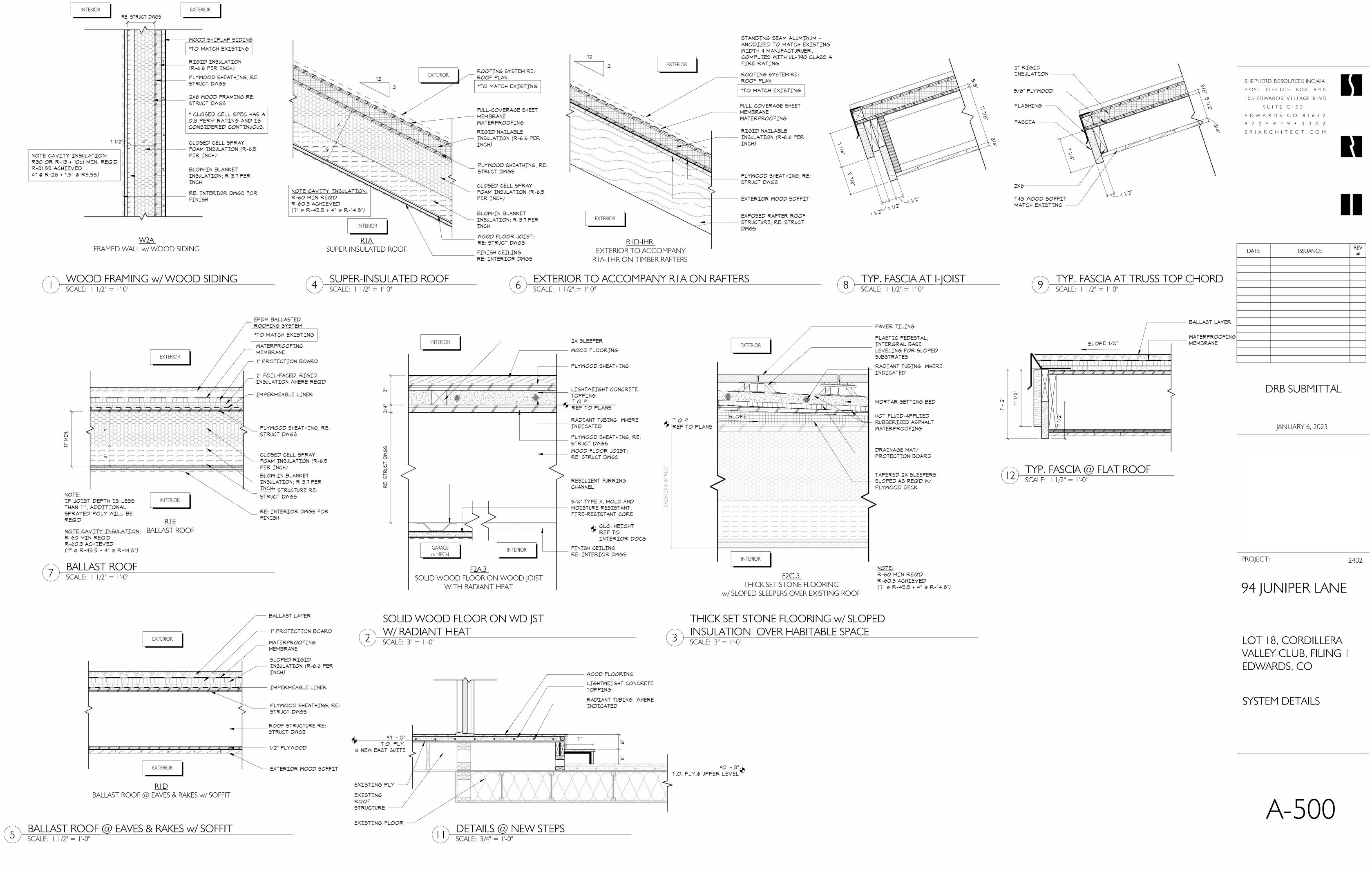
/FLOOR GRAPHICS LEGEND

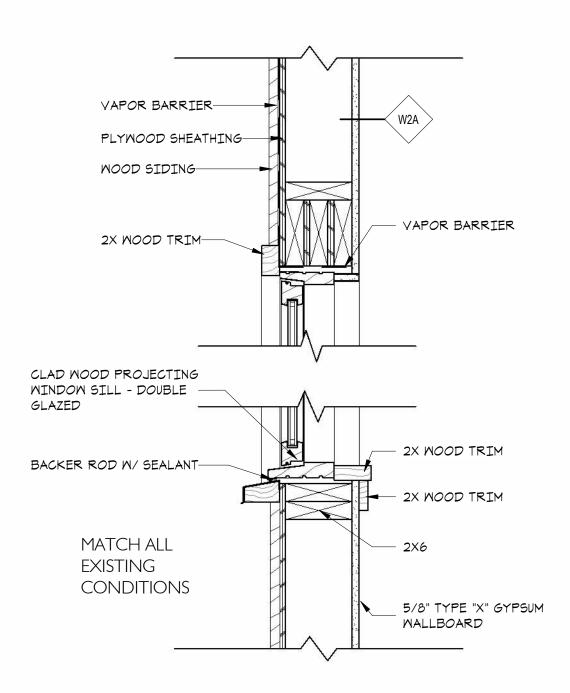
EXISTING TO BE DEMOLISHED

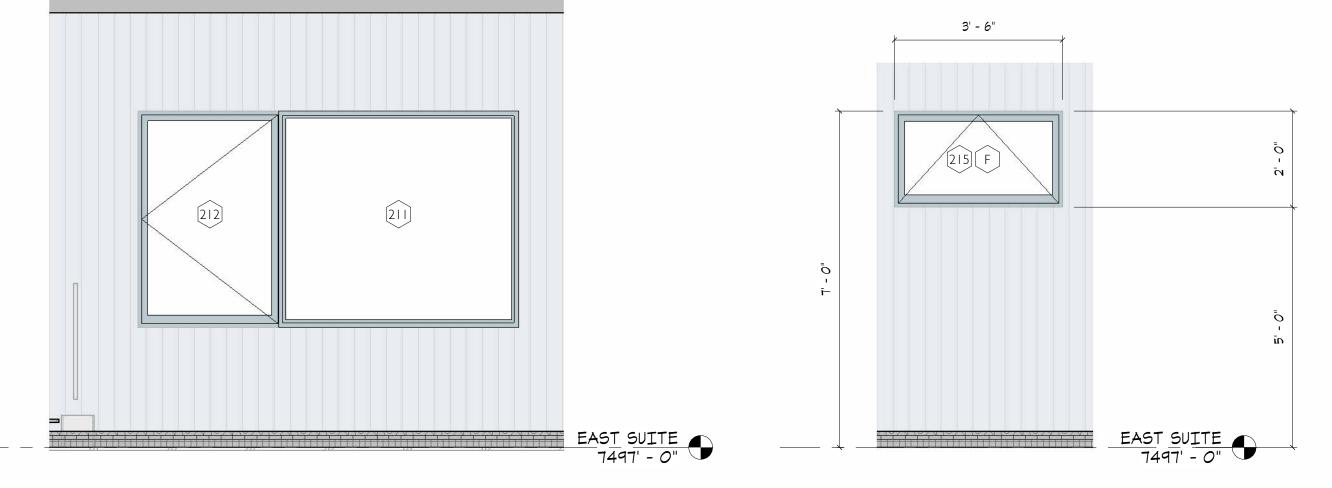
EXISTING TO REMAIN

NEW











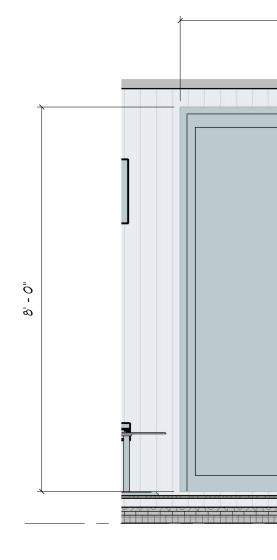
4 211&212 SCALE: 1/2" = 1'-0"

MarkType MarkOperationWidEAST SUITE215FAWNING3' - 6"217LCASEMENT3' - 0"211UFIXED5' - 0"212LCASEMENT3' - 0"	DW SCHEDULE - NEW th Height Head Height Sill Height 2' - 0" 7' - 0" 5' - 0" 4' - 6" 7' - 0" 2' - 6" 4' - 6" 7' - 0" 2' - 6" 4' - 6" 7' - 0" 2' - 6" 4' - 6" 7' - 0" 2' - 6"	nt Comments	SHEPHERD RESOURCES INC/AIA POST OFFICE BOX 840
 FIXED FENESTRATIONS IN CLIMATE ZONE <u>6</u> PER MANUFACTURER. 2. ALL NEW OPERABLE WINDOWS TO MEET CODE BY FOR OPERABLE FENESTRATIONS IN CLIMATE ZO MANUFACTURER. 3. WINDOW MANUFACTURER TO PROVIDE TEMPERED BUILDING CODE. 4. EGRESS WINDOW WILL MEET 5.7 SQ FT, HARDWAR OPERATION TO MEET CODE COMPLIANCE. 	LING UNDER THE MAXIMUM U-FACTOR OF <u>0.30</u> FOR IECC <u>2021</u> . VERIFY WITH WINDOW FALLING UNDER THE MAXIMUM U-FACTOR OF <u>0.30</u> NE <u>6</u> PER IECC <u>2021</u> . VERIFY WITH WINDOW		I05 EDWARDS VILLAGE BLVD SUITE CI03 E DWARDS CO 81632 9 7 0 • 9 4 9 • 3 3 0 2 SRIARCHITECT.COM
3' - 6"	0 - 0	3' - 0"	DATE ISSUANCE REV #
EAST SUITE THE FILL OF THE		EAST SUITE T497' - O"	Image: Signature Image: Signature
15 ALE: 1/2" = 1'-0"	3_217 	7 E: 1/2" = 1'-0"	
			PROJECT: 2402
	8' - <i>0</i> "		94 JUNIPER LANE
RIOR NEW ht comments			lot 18, cordillera Valley Club, filing 1 Edwards, co
IOR NEW T COMMENTS			WINDOW & DOOR SCHEDULES
)")"			

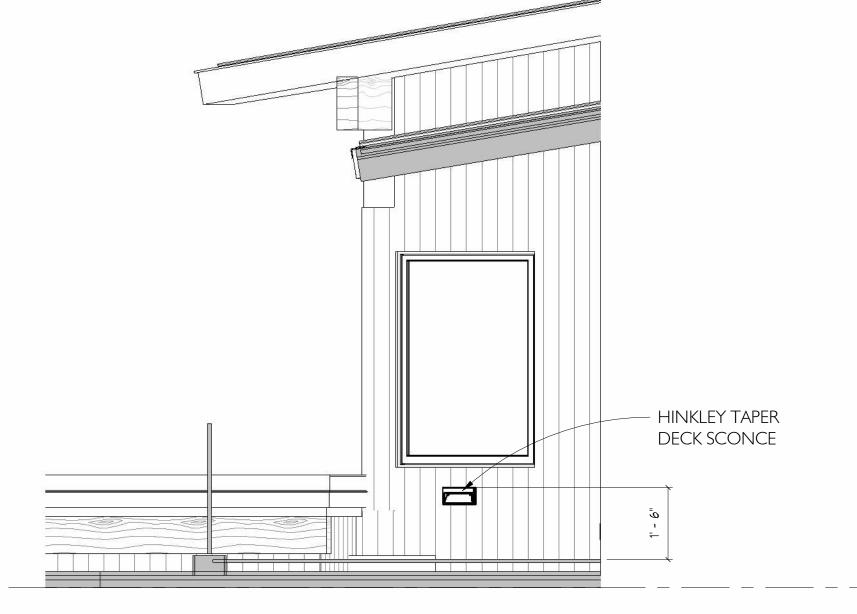


DOOR SCHEDULE EXTERIOR NEW				
DOOR NO.	OPERATION	WIDTH	HEIGHT	COMMENTS
EAST SUITE				
D200	SLIDING PATIO	8' - 0"	8' - 0"	

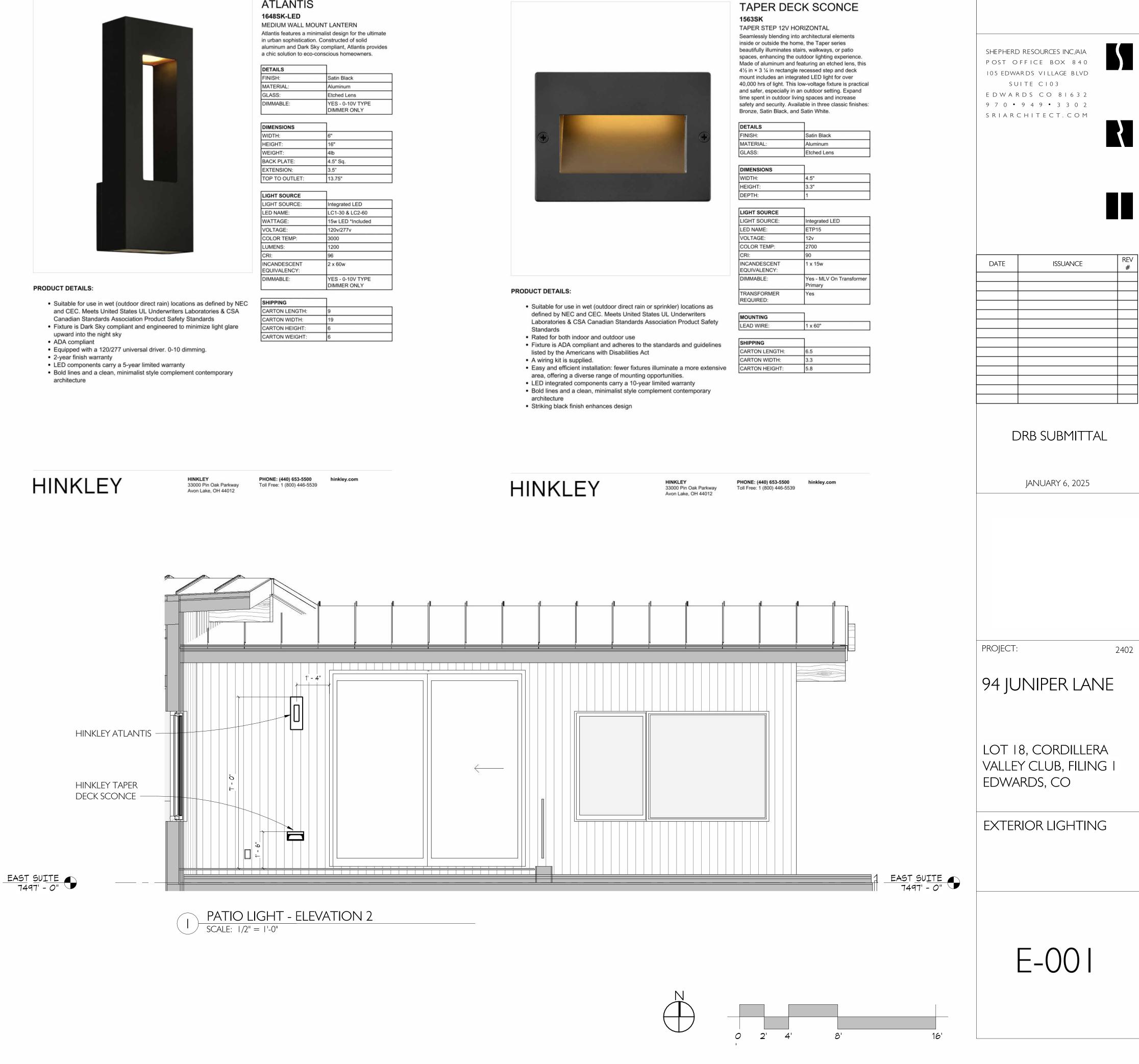
	DOOR SCHEDULE INTERIOR NEW				
DOOR NO.	OPERATION	WIDTH	HEIGHT	COMMENTS	
UPPER LEVE	UPPER LEVEL				
D212	HINGED PAIR	4' - 0"	7' - 0"		
EAST SUITE	EAST SUITE				
210	POCKET	2' - 6"	7' - 0"		
211	POCKET	2' - 6"	7' - 0"		
D205	HINGED	3' - 0"	7' - 0"		
D214		5' - 6"	7' - 0"		

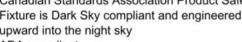


2 PATIO LIGHT - ELEVATION SCALE: 1/2" = 1'-0"











EQUIVALENCY:	
DIMMABLE:	YES - 0-10V TYPE DIMMER ONLY
SHIPPING	
CARTON LENGTH:	9
CARTON WIDTH:	19

SHIPPING	
CARTON LENGTH:	9
CARTON WIDTH:	19
CARTON HEIGHT:	6
CARTON WEIGHT:	6

