

Cordillera Valley Club

Design Review Board

Meeting Agenda

Date: November 28, 2023

Time: 11:00 am

CVC DRB Members:

Michael Current

Steve McKeever

Jeff Townsend

Bobby Ladd

Location:

Via Zoom

Project Reviews (11:00 am)

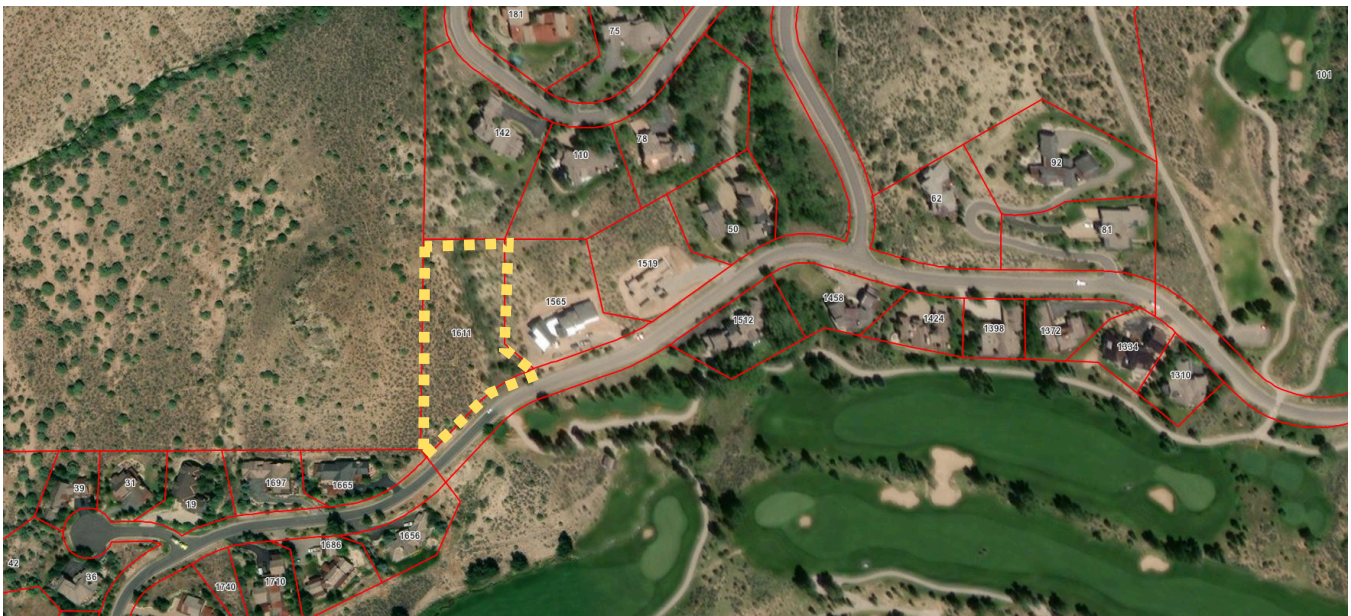
1. Mongrain Residence - Changes to Approved Plans and Deviation
1611 Beard Creek Trail / Filing 2 Lot 14
Owner: Joe and Pepette Mongrain
Applicant: Adam Harrison, SRI Architects
2. Scrivens Residence - Changes to Approved Plans
42 Pinnacle Point / Filing 4 Lot 12
Owner: Barbara Scrivens
Applicant: Brian Judge, Judge-Associates Inc

Cordillera Valley Club Design Review Board *Staff Memorandum*

Owner: Joe and Pepette Mongrain
Address: 1611 Beard Creek Trail
Legal Address: Filing 4, Lot 17
Architect: Adam Harrison, Shepherd Resources Inc
Staff Contact: Allison Kent, AICP
DRB Hearing #1: February 24, 2021
DRB Hearing #2: April 28, 2021
DRB Hearing #3: November 28, 2023

Project Description

- Applicant is requesting Changes to Approved Plans and a Deviation from the Design Guidelines for retaining walls outside the building envelope.
- The single-family residence was originally approved in April of 2021.
- The applicant is proposing changes to the driveway configuration and retaining walls, which results in more disturbance outside of the building envelope.



CHANGES TO APPROVED PLANS REVIEW - November 28, 2023

Project Review

A. Site Plan and Landscape Plan Comments

1. At each level of review, the driveway area, retaining walls, and the extent of disturbance that resulted within the existing drainage feature was a critical area of discussion with the DRB. The DRB continually required that the driveway area be minimized and that the retaining walls be within the building envelope to the extent possible. Staff is concerned that the proposed site plan changes are contrary to the direction given by the DRB and simply another attempt to go back to a design that was previously rejected by the DRB. Staff recommends the DRB provide input on the proposed changes.
2. In addition to the retaining walls at the driveway which are outside the building envelope, additional retaining walls have been constructed at the rear of the home that were not approved by the DRB. These retaining walls are outside the building envelope to a much greater extent than the approved plans allowed for. This necessitated the need for the DRB to review this as a Deviation from the Design Guidelines. Staff recommends the DRB provide input on the proposed deviations. The DRB must make the following findings to approve a deviation:
 - a) The proposed encroachment does not affect views from surrounding homesites;
 - b) The proposed encroachment does not substantially reduce the distance between homesites on lots;
 - c) The proposed encroachment allows for a more sensitive design solution by minimizing site grading, the loss of mature vegetation, and/or other considerations, and
 - d) The proposed encroachment will allow for a design that is consistent with the overall design philosophy and design style for the Cordillera Valley Club.

B. Adjacent Neighbor Comments

Public notice to adjacent properties was provided on November 13, 2023. As of the date of this memo, questions have been asked on the applicant, but no comments were received as of the date of this memo (11-22-23).

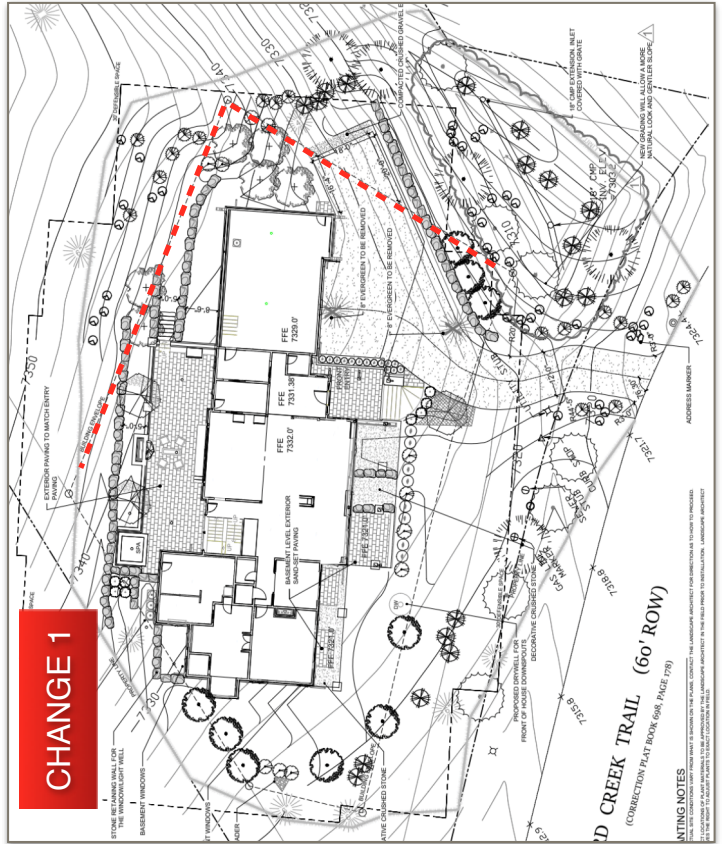
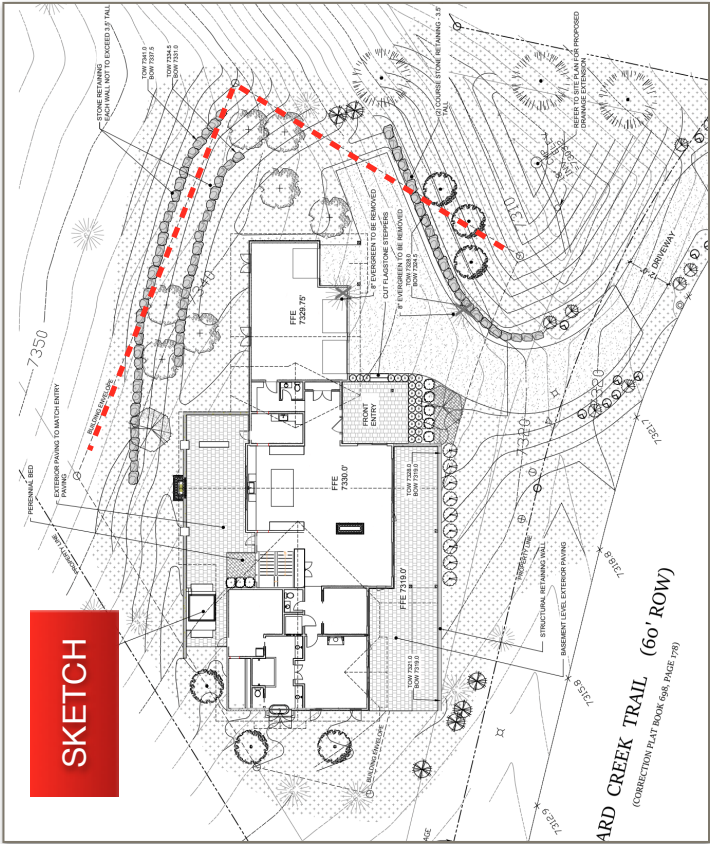
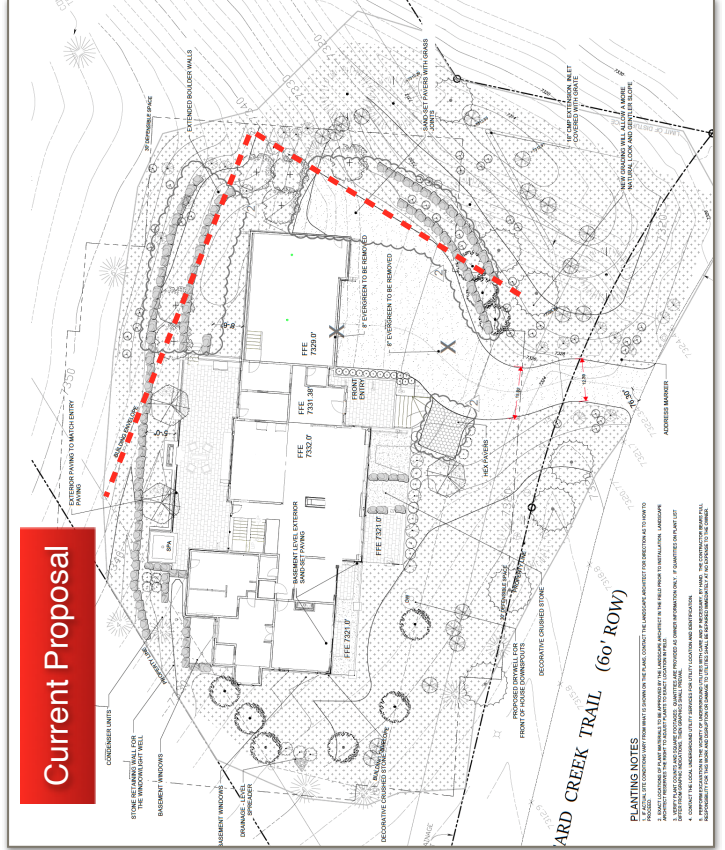
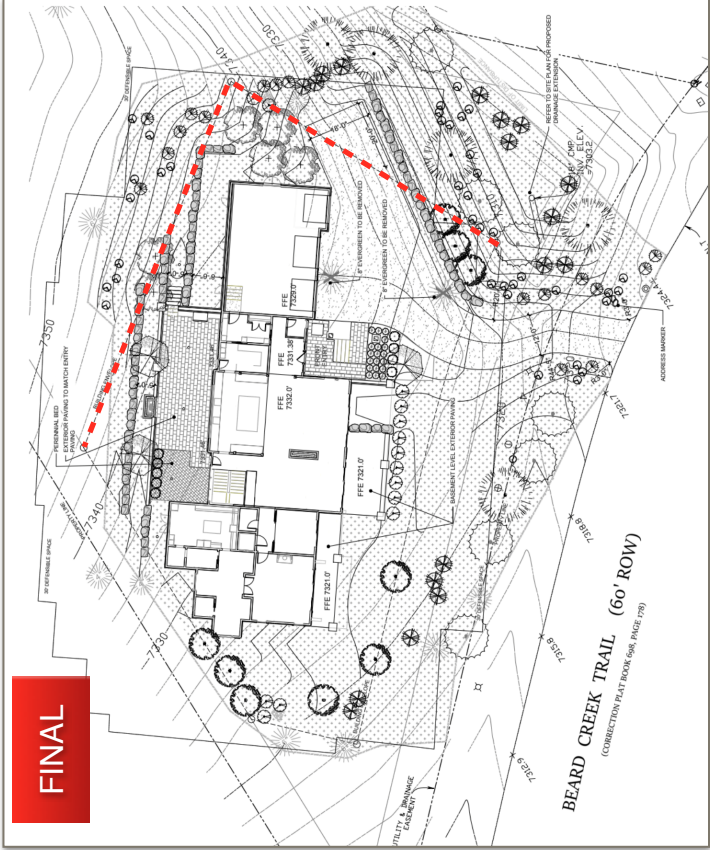
Mr. Goldsmith, the adjacent property owner, has called and emailed us throughout the construction process related to concerns about compliance with the original plan, landscaping, driveway location, and impacts to the gulch located on the Mongrain property. Staff has always responded that the applicant must comply with the approved plans.

If comments are received prior to the date of the meeting, they will be added to this Staff Memorandum.

C. Staff Recommendation

Staff was not comfortable staff approving these change as they appear to be contrary to the direction given to the applicant at both Sketch and Final Plan Review. Staff recommends the DRB provide direction to the applicant on the Changes to Approved Plans and Deviation Request for the Mongrain Residence. Staff would recommend approval of the retaining walls at the rear of the home, but would recommend the driveway configuration be constructed as previously approved subject to the following conditions:

1. General Condition: Compliance with the CVC Design Guidelines and process is not a substitute for compliance with Eagle County regulations, State regulations, or Federal regulations. Additional permits and approvals may be required by these agencies prior to commencing any work on the property. The property owner and its agents are responsible for ensuring compliance with all local, state, and federal regulations.



FINAL REVIEW - April 28, 2021

Project Review

A. Architecture Comments

3. At the Sketch Plan Review, the DRB provided input about the depth of the fascia and the expression of structure, noting that if the intention was to have thinner fascia, then more expression of structure was necessary. Staff believes that the applicant has addressed both the concerns as per the recommendation of the DRB.
4. One of the concerns the DRB noted at the Sketch Plan Review was the subtleness of the entry. A dormer has been added on the entry and stone has been added to the entry columns. The Design Guidelines encourage the use of front porches as a welcoming entry in to the home. Staff believes the changes are more consistent the Design Guidelines, which state:

3.10 ENTRYWAYS / PORCHES

Objectives

- *To provide a sense of entry to the home, entry porches are required*
- *All porches shall be an integral part of the overall design*

All homes shall have a welcoming, inviting entry designed to enhance the overall look of the structure and break up the verticality of its facades. The entry defines a place of gathering and receiving. The entry and front porch can be an opportunity to add individual creative expression, or a signature architectural statement, to the home.

Design Considerations

- Porches must be constructed of materials that complement the materials on the home.
- The use of expressed structure, such as exposed rafter tails, lookout beams and knee braces are required.
- Porch roofs should be different, in pitch and materials, from the adjacent roof planes.
- Wrap-around porches are encouraged.

B. Site Plan and Landscape Plan Comments

1. With the changes to the driveway, staff recommends seeing the turnaround area minimized to the extent possible. This could eliminate retaining and grading outside the building envelope that is within the existing drainage feature on this property. The Design Guidelines state:

2.5 DRIVEWAYS

Objective

- *Limit the impervious ground cover to an area necessary for the needs of adequate access and parking*

Slope and Site Considerations

- In order to ensure safe and convenient access, recommended driveway grades are 3-4% for the first twenty feet (20') of the driveway and no more than 10% grade on other portions of the driveway. Between 10-12% (the maximum), the DRB will require snowmelt and guard rails.
- Driveways should be designed to align with roadways at no less than a 75 degree angle.

- With the exception of parking spaces immediately adjacent to garages, and as may be necessary for emergency vehicle access, the width of paved driveway surfaces shall not exceed twelve feet (12’).

Material Considerations

- All driveways shall be constructed of asphalt, stamped asphalt, concrete/ stone unit pavers or exposed or colored concrete. Gravel and porous stone are unacceptable as paving materials.
- Asphalt is only allowed to meet the home at the garage doors.

Other Design Considerations

- Driveways may allow for a maximum 3’ radius at the intersection of the drive and the access road. The DRB will allow an extra flare (of similar driveway material) on either side or both sides of the driveway in certain cases where the adjacent landscaping would otherwise be damaged by vehicles in the normal course of entering or exiting the driveway.
- Unless approved by the DRB, homesites shall be limited to one access point off of the adjacent roadway.
- Adequate snow storage areas should be provided adjacent to driveways and parking areas.
- Driveways should be minimized in length and square footage and should generally follow existing grades.
- Canting the driveway to the south or west for solar exposure is encouraged where possible.
- It is necessary to leave a minimum of three feet (3’) between all retaining walls and the edge of the driveway for planting beds.
- Driveways must conform to all County and local government regulations.
- Any improvements made within a right-of-way or easements are at risk and subject to repair or replacement at the owner’s expense.

2. The DRB recommended that the site and drainage improvements be designed by a civil engineer. The applicant has provided a site and grading plan, along with a drainage letter from Radian Engineering. The Design Guidelines state:

2.4 GRADING AND DRAINAGE

Objectives

- *Site grading shall be limited to no more than what is necessary to integrate the home and exterior living spaces with the site features and topography*
- *Site grading shall be limited to what is necessary to accommodate the development of a home and site access.*
- *A drainage plan must direct all water on the site to the existing drainage channels in the Cordillera Valley Club*

The DRB or DRB Administrator may require a licensed civil engineer to review and stamp the grading, drainage and soil stabilization plans depending on the scope of the project. Drainage must be controlled during construction (RE: Section 5.7- Erosion Control and Revegetation). In regard to drainage during the construction process, Eagle County Regulations must be followed. The Cordillera Valley Club has unique soil conditions and native drainage channels from the native landscape that has resulted in severe flooding and erosion issues.

3. Since the Sketch Plan Reviews, the applicant has rotated the home and shifted it on the site. Almost all of the improvements that were outside the building envelope have been eliminated. At this time, there are some retaining walls along the west and rear outside the building envelope, and the retaining wall associated with the turnaround area outside the building envelope. In general staff believes the scope of the encroachments outside the building envelope is appropriate and consistent with other deviation requests approved by the DRB in the past. Staff does recommend that the extent of the turnaround should be minimized while still providing functionality. The DRB must make the following findings to approve a deviation:
 - e) The proposed encroachment does not affect views from surrounding homesites;
 - f) The proposed encroachment does not substantially reduce the distance between homesites on lots;
 - g) The proposed encroachment allows for a more sensitive design solution by minimizing site grading, the loss of mature vegetation, and/or other considerations, and
 - h) The proposed encroachment will allow for a design that is consistent with the overall design philosophy and design style for the Cordillera Valley Club.

C. Adjacent Neighbor Comments

Public notice to adjacent properties was provided on April 13, 2021. As of the date of this memo, no comments have been received.

D. Staff Recommendation

Staff recommends approval of the Final Plan and Deviation Request for the Mongrain Residence, subject to the following conditions:

1. General Condition: Compliance with the CVC Design Guidelines and process is not a substitute for compliance with Eagle County regulations, State regulations, or Federal regulations. Additional permits and approvals may be required by these agencies prior to commencing any work on the property. The property owner and its agents are responsible for ensuring compliance with all local, state, and federal regulations.
2. Final exterior building materials are to be approved by the DRB based on a mock-up inspection per the Design Guidelines.
3. The plans have been provided to Marcin Engineering for review of any additional impacts to CVC Metro District rights-of-way. Any additional comments provided following Final Plan approval shall be addressed prior to Technical Review Submittal.
4. With the Technical Plan submittal, the CVC Metro District encroachment agreement shall be submitted to the CVC Metro District for all improvements within the right-of-way.
5. All walls over 4 ft. shall be stamped by a licensed Professional Engineer for the Technical Plan submittal.

6. The applicant shall address the comments provided in this staff memorandum and any DRB comments prior to Technical Review.

E. DRB Deliberation

DRB members Michael Current, Bobby Ladd, Jeff Townsend, and Steve McKeever were present via the Zoom Meeting.

Joe and Peppette Mongrain, owners; Adam Harrison and Bert Willemse, Architects; and Devin Gardner, Landscape Architect, were present for the meeting. Jeff Goldsmith, neighbor was present.

The neighbor, Jeffrey Goldsmith at 1565 Beard Creek Trail / F2 L13 presented his comments from his email (copied herein for reference)

“To the DRB:

It is important to respect our neighbors, our natural surroundings and maintain the integrity of our CVC community.

The spec home, immediately to our east, should have received more scrutiny from the DRB, with respect to its setting on the property, landscaping- to name a few. Unfortunately, the new home proposed to my immediate west shares many of the same issues.

Originally, the driveway was proposed to cross the natural ravine, interfering with the significant wildlife that can be seen there daily. Now, the driveway heads straight up from Beard Creek Trail, unlike any home that sits on the north side of the road. In addition, it is outside of the building envelope. The retaining wall and drainage needs clarification.

While the homeowner has the right to build, you have a responsibility to the CVC community. The driveway should head west to east; however, that is in conflict to their design. We cannot set precedent regardless of the few remaining properties.

We would like to meet at the property with the DRB prior to the meeting.

Thanking you in advance for your courtesy, consideration and prompt response.”

Adam presented the changes.

Bobby stated that he liked the alternative entry option. It better addresses street visibility.

Michael agreed that he liked the revision better. He likes the changes, including the bracing beams which should be carried throughout.

Jeff stated that he liked the changes. Jeff asked about minimizing the driveway.

Devin indicated that it could be shortened by about 4 feet and still maintain functionality.

Jeff stated that he didn't want to lose functionality.

Michael stated that the turnaround should be reduced, which would help with the length of the retaining wall. He asked about utility and AC locations.

The DRB agreed that the AC units should be located at the back of the home.

Steve said that the driveway should be reduced. Look at using gravel at the end of the driveway for additional area.

Bobby stated the home was well conceived. Look at minimizing the driveway, all the comments from the previous review were addressed.

Motion to Approve with Conditions:

Motion: Jeff Townsend

Second: Michael Current

Vote: 4-0

1. General Condition: Compliance with the CVC Design Guidelines and process is not a substitute for compliance with Eagle County regulations, State regulations, or Federal regulations. Additional permits and approvals may be required by these agencies prior to commencing any work on the property. The property owner and its agents are responsible for ensuring compliance with all local, state, and federal regulations.
2. Final exterior building materials are to be approved by the DRB based on a mock-up inspection per the Design Guidelines. (Please note that the thickness of stone continues to be a major concern for the DRB. Stone should not read as a thin veneer.)
3. The AC condenser units shall be located at the rear of the home.
4. The entry alternative that was presented is the preferred and approved option.
5. The applicant shall minimize the turnaround area to the extent possible while maintaining functionality. This shall be reviewed by staff at Technical Plan review.
6. The plans have been provided to Marcin Engineering for review of any additional impacts to CVC Metro District rights-of-way. Any additional comments provided following Final Plan approval shall be addressed prior to Technical Review Submittal.
7. With the Technical Plan submittal, the CVC Metro District encroachment agreement shall be submitted to the CVC Metro District for all improvements within the right-of-way.
8. All walls over 4 ft. shall be stamped by a licensed Professional Engineer for the Technical Plan submittal.
9. The applicant shall address the comments provided in this staff memorandum and any DRB comments prior to Technical Review.

SKETCH REVIEW - February 24, 2021

Project Review

A. Architecture Comments

1. Roof pitches are generally 5:12 for the primary roof forms, and 2.5:12 for a small area of roof connecting the garage to the main residence. The roofing material is identified as CeDur Roof Shake for the primary roof form, and one small area of standing seam metal for the 2.5:12 pitched area. The roof is additive in nature, with a combination of primary and secondary roof forms. The DRB should provide the applicant with guidance on the roof materials and elements. The Guidelines state:

3.4 ROOFS

Objective

- *Roofs must be comprised of relatively simple forms with clean connections*
- *To reflect the additive nature of the architecture of the American West, homes should be comprised of a combination of primary and secondary roof forms*

Roofs are the most prominent visual element of homes at the Cordillera Valley Club. This is particularly true due to the visibility of homesites from the golf course and the rolling terrain that characterizes much of the community. In order to ensure visual coherence throughout the Cordillera Valley Club, all roofs should be comprised of relatively simple forms and should utilize similar materials and colors that integrate the buildings with the site and surrounding area.

Design Considerations

- Large continuous roof planes must be avoided. Smaller segmented roof forms consistent with the additive form of the home, or a composition of primary and secondary roof forms shall be used.
- Roof forms shall be limited to low-pitched gable, shed, or double-pitch roofs in the range of 4:12 to 8:12. 3:12 roofs may be allowed, as well as other roof forms, such as curved roofs or flat roofs, at the discretion of the DRB.
- Deep roof overhangs are encouraged in order to provide shade, particularly at southern elevations, and add interest to building elevations. Primary roof overhangs shall be a minimum of two feet (2'), where as secondary roof overhangs may be eighteen inches (18") minimum upon discretion of the DRB.

Roof Materials

- Appropriate materials for primary roof forms include cedar shakes (treated class B rating), synthetic fire-rated shakes, and slate. Roof materials should be predominantly grey or brown in color and be compatible with the colors of the main residence. Homesites with a high wildfire rating must use class A rated roofing materials.
- In addition to the materials listed above, appropriate materials for secondary roofs also include corten steel, terned metal and copper. The limited use of these materials is appropriate because of their natural patina. Owners may be required to treat corten steel, terned metal and copper roofs in order to accelerate the natural weathering process, if at the discretion of the DRB the natural weathering process has not adequately dulled the finish of the roof within six months after installation.
- Flashing and gutter materials must be consistent with the metal roof systems.

- Prohibited roof materials include:
 - ▶ Glazed tiles
 - ▶ Ceramic tiles
 - ▶ Asphalt or fiberglass shingles
2. The proposed residences appears to comply with the maximum height limitation of 35 ft. However, for Final Plan Review, the roof height plan shall reflect both existing and proposed grades, and all roof ridge and eave heights shall be noted so staff can verify the height calculations.
 3. The applicant shall provide stone calculation for Final Plan Review. The project appears to comply with the Design Guidelines but this needs to be verified.
 4. For Final Plan Review, the applicant shall verify that the proposed exterior lighting fixtures are dark sky compliant and which comply with the Design Guidelines which state:

3.8 EXTERIOR LIGHTING

Objective

- *Exterior lighting shall maintain the rural character of the setting, preserve the night sky, and protect neighboring properties from undesirable side effects of outdoor lighting.*
- *Exterior lighting can be used for safety and security purposes and to subtly accent architectural features of a home.*

Design Considerations

Exterior lighting as described in this section is lighting on the home to define entries, to provide for safety and security, and to accent architectural features. Refer to Section 4.11 for information on landscape lighting, which includes address markers, driveway entrances, and ground level walkway and patio lighting.

Exterior light fixtures shall be of materials and quality consistent with the architecture of the home. The number of exterior light fixtures should be the minimum needed to provide for safety and security. Floodlights and spotlights are not permitted. All exterior light fixtures shall be dark sky compliant.

Dark sky compliant fixtures require the installation of incandescent bulbs 40 watts or less, or LED bulbs of no more than 400 lumens and no more than 3000 kelvin. Any fixtures installed prior to the dark sky compliant requirement (January 1, 2018) and any fixtures that have a visible source of illumination shall require installation of incandescent bulbs that total 25 watts or less or, if LED bulbs, no more than 300 lumens and no more than 3000 kelvin. Exterior light fixtures should not be illuminated overnight or for extended periods of time. No exterior lighting which produces excessive glare to neighboring homes, or pedestrian or vehicular traffic shall be permitted.

The seasonal display of decorative holiday lighting is allowed between November 15 and January 15, and small white lights in a reasonable amount of trees are allowed between November 15 and March 15. The use of all other landscape lighting is further regulated by Section 4.11.

5. The Design Guidelines encourage the use of front porches as a welcoming entry in to the home. The entry to the proposed home is relatively understated. The DRB

should provide the applicant with guidance on the front porch and entry to the home. The Design Guidelines state:

3.10 ENTRYWAYS / PORCHES

Objectives

- *To provide a sense of entry to the home, entry porches are required*
- *All porches shall be an integral part of the overall design*

All homes shall have a welcoming, inviting entry designed to enhance the overall look of the structure and break up the verticality of its facades. The entry defines a place of gathering and receiving. The entry and front porch can be an opportunity to add individual creative expression, or a signature architectural statement, to the home.

Design Considerations

- Porches must be constructed of materials that complement the materials on the home.
- The use of expressed structure, such as exposed rafter tails, lookout beams and knee braces are required.
- Porch roofs should be different, in pitch and materials, from the adjacent roof planes.
- Wrap-around porches are encouraged.

B. Site Plan and Landscape Plan Comments

1. To ensure the parking area / turnaround is functional, staff recommends that for Final Plan Review, the functionality of the turnaround be evaluated by the applicant and information on turning radii should be provided. The grading and functionality of the driveway should be completed by a civil engineer (see comments below).
2. The driveway curb cut is approximately 40 ft. wide and large areas of the driveway exceed 12 ft. in width recommended by the Design Guidelines. Staff recommends that the applicant provide additional information on the driveway design and demonstrate compliance with the Design Guidelines on driveway design. The Design Guidelines state:

2.5 DRIVEWAYS

Objective

- *Limit the impervious ground cover to an area necessary for the needs of adequate access and parking*

Slope and Site Considerations

- In order to ensure safe and convenient access, recommended driveway grades are 3-4% for the first twenty feet (20') of the driveway and no more than 10% grade on other portions of the driveway. Between 10-12% (the maximum), the DRB will require snowmelt and guard rails.
- Driveways should be designed to align with roadways at no less than a 75 degree angle.
- With the exception of parking spaces immediately adjacent to garages, and as may be necessary for emergency vehicle access, the width of paved driveway surfaces shall not exceed twelve feet (12').

Material Considerations

- All driveways shall be constructed of asphalt, stamped asphalt, concrete/ stone unit pavers or exposed or colored concrete. Gravel and porous stone are unacceptable as paving materials.

- Asphalt is only allowed to meet the home at the garage doors.

Other Design Considerations

- Driveways may allow for a maximum 3’ radius at the intersection of the drive and the access road. The DRB will allow an extra flare (of similar driveway material) on either side or both sides of the driveway in certain cases where the adjacent landscaping would otherwise be damaged by vehicles in the normal course of entering or exiting the driveway.
- Unless approved by the DRB, homesites shall be limited to one access point off of the adjacent roadway.
- Adequate snow storage areas should be provided adjacent to driveways and parking areas.
- Driveways should be minimized in length and square footage and should generally follow existing grades.
- Canting the driveway to the south or west for solar exposure is encouraged where possible.
- It is necessary to leave a minimum of three feet (3’) between all retaining walls and the edge of the driveway for planting beds.
- Driveways must conform to all County and local government regulations.
- Any improvements made within a right-of-way or easements are at risk and subject to repair or replacement at the owner’s expense.

3. The driveway crosses a significant drainage and includes the extension of an existing culvert. Due to potential drainage impacts, staff recommends that the driveway design and drainage improvements be designed by a civil engineer and that a drainage report be provided for Final Plan Review. The Design Guidelines state:

2.4 GRADING AND DRAINAGE

Objectives

- *Site grading shall be limited to no more than what is necessary to integrate the home and exterior living spaces with the site features and topography*
- *Site grading shall be limited to what is necessary to accommodate the development of a home and site access.*
- *A drainage plan must direct all water on the site to the existing drainage channels in the Cordillera Valley Club*

The DRB or DRB Administrator may require a licensed civil engineer to review and stamp the grading, drainage and soil stabilization plans depending on the scope of the project. Drainage must be controlled during construction (RE: Section 5.7- Erosion Control and Revegetation). In regard to drainage during the construction process, Eagle County Regulations must be followed. The Cordillera Valley Club has unique soil conditions and native drainage channels from the native landscape that has resulted in severe flooding and erosion issues.

4. For Final Plan Review, the applicant shall indicate the wildfire off-set and demonstrate compliance with Eagle County wildfire mitigation requirements.
5. Staff is concerned about the limited number of trees and other vegetation proposed, especially along the front elevation of the proposed home. The front patio and deck extend beyond the building envelope (addressed in a subsequent comment), and there is minimal screening to off-set this encroachment.

6. For Final Plan Review, the address marker location and design shall be provided.
7. A large portion of the front patio and front deck, roof overhang, driveway turnaround, and retaining walls and are located outside of the building envelope. The applicant will be required to submit for a Deviation from the Design Guidelines to allow for these improvements for Final Plan Review. However, staff believes that the amount of encroachment along Beard Creek Trail should be eliminated or minimized. The scale and impact of these encroachments are substantial and will give the appearance of home in close proximity to the roadway. Building envelopes were established to provide adequate separation from the roadway and neighboring properties. In general staff believe the scale of the proposed home is large given the size of the building envelope. The DRB should provide input on the location of these improvements in relation to the building envelope. The DRB must make the following findings to approve a deviation:
 - i) The proposed encroachment does not affect views from surrounding homesites;
 - j) The proposed encroachment does not substantially reduce the distance between homesites on lots;
 - k) The proposed encroachment allows for a more sensitive design solution by minimizing site grading, the loss of mature vegetation, and/or other considerations, and
 - l) The proposed encroachment will allow for a design that is consistent with the overall design philosophy and design style for the Cordillera Valley Club.

C. Adjacent Neighbor Comments

Public notice to adjacent properties was provided on February 9, 2021. As of the date of this memo, the following comments were received:

From Bob Engleby at 78 Spring Creek Lane / F2 L10:

Allison and Dominic,

I'd like to voice my concern over the home built two lots to the east on BCT, directly across from Brett Barnett, and below my home. I believe it was a treat spec home. This home was allowed to sit very high on the hill, and go even higher. I'd like everything possible to be done with this home so that does not happen again. For example, the goldsmith home looks great and blends into the topography, the treat spec home is too high and ugly.

Make sense?

Bob Engleby

Office and Mobile: 970-343-2991

Fax: 970-306-4189

From Brett Barnett at 1512 Beard Creek Trail / F2 L15

Hey guys. I agree with Bob. The Treat spec should have been set back and lower on the hill. It would never have been as set back as the Goldsmith home, but it could have been setback more than it is. At the DRB meetings, it was requested that the size of the Pinons be enlarged to soften the height of the homesite. This was never followed up on and the landscaping, or what attempt has been made at landscaping, has little to no impact on the height, and the starkness of the home. I have spoken to the owner and requested that he improve the landscaping. Hopefully we see that this spring. I doubt it but I am hopeful. I also requested at the DRB meeting that the garage be wood given the closeness to the road and the need to make the house more in line with the surroundings. Softer. That didn't happen either.

From what I can tell the new house is lower and setback properly. The best way to tell is to measure it against the one across from me. Because that house is awful. I changed that word to awful.

thank you

G. Brett Barnett f 501-376-0890 c 501-351-1565

D. Staff Recommendation

Staff recommends approval of the Sketch Plan for the Mongrain Residence, subject to the following conditions:

1. The applicant shall address the comments provided in this staff memorandum and any DRB comments prior to a Final Plan Review submittal. The applicant shall provide a memo outlining how each comment was addressed and submit this with the Final Plan Review.

E. DRB Deliberation

DRB members Michael Current, Bobby Ladd, Jeff Townsend, and Steve McKeever were present.

Joe and Peppette Mongrain, owners; Adam Harrison and Bert Willemse, Architects; and Devin Gardner, Landscape Architect, were present for the meeting.

Adam provided an overview of the project. He indicated they were looking at rotating the house clockwise which would remove some of the encroachments beyond the building envelope.

Jeff asked if rotating the house will have an impact on the garage.

Adam said they would be looking at adding a dog run. He stated that the owner is French and that is a lot of the inspiration for the home. He liked the CeDur shingle better as it is a more realistic weathered shake.

Michael stated that a civil engineer needs to be brought on board. He was concerned about the 9 ft. retaining/structural wall at the patio. The entry needs to be more

prominent per the Design Guidelines. The fascia appears to be too thin and not proportional with the roof forms.

Bobby was very concerned about the driveway design and Eagle County requirements. He stated that there was going to be a change to the capacity of the drainage basin and he had concerns about this. The architectural plans are different than the site/landscape plan. The proposed encroachments into the building envelope need to be more natural rather than structural. The entry needs more emphasis, possibly look at something similar to what was done at the 3rd garage bay. The fascia gets lost given the size of the roof form. The stone on the left side/back of garage seems unnecessary and a little off. He likes the deep overhangs and the massing, but need to look at detailing and quality.

Jeff stated that he likes the house, but wants to see more detailing. It is difficult to evaluate the site plan if this house is going to rotate. The engineering is important and needs to be completed by a civil engineer. The landscape plan is sparse and needs more development. He has no issue with the CeDur roof.

Steve stated that he agreed with all of the comments so far. The entry porch needs to feel more like a separate feature and feel far more additive. He stated his concerns about the light fixture and wanted to make sure that the dark sky was protected.

Bobby stated that if the intent is to have thinner fascia, then more needs to be done with exposed structure.

Motion to Approve with Condition(s).

Motion: Michael Current

Second: Bobby Ladd

Vote: 4-0

Conditions: 1. The applicant shall address the comments provided in this staff memorandum and any DRB comments prior to a Final Plan Review submittal.

Cordillera Valley Club

Design Review Board Application Form

Submit to Mauriello Planning Group
Via email: Allison@mpgvail.com
Via mail: PO Box 4777, Eagle, CO 81631
Ph. 970.390.8530

APPLICATION TYPE:

- | | |
|--|---|
| <input type="checkbox"/> New Construction | <input checked="" type="checkbox"/> Modification to Approved Plans |
| <input type="checkbox"/> Addition of Livable Space | <input type="checkbox"/> Wildfire Mitigation |
| <input type="checkbox"/> Modification without Addition of Space
(ie. Deck Addition, Hot Tub Addition, etc.) | <input type="checkbox"/> Minor Modification
(ie. Landscape, Color Change, Rec Equipment, etc.) |
| <input type="checkbox"/> Improvements Outside of Building Envelope | <input type="checkbox"/> Extension of Final Approval (1-year) |
| <input type="checkbox"/> Building Envelope Adjustment | |

Name of Project: 1611 Beard Creek Trail

General Description of the Project: New Residence; 2 Story, 7300+/- square foot

Updates to Approved plans with conditons addressed and modifications clouded on submitted drawings.

LOCATION

Lot: 14 Filing: 2 Street Address: 1611 Beard Creek Trail

CONTACT INFORMATION

Owner Name: Joe & Pepette Mongrain

Mailing Address: 2047 Westcreek Lane Houston TX 77027 " Unit 707 "

Phone: 281-235-9962

Email: jhmongrain@yahoo.com

Owner Signature:  Date: 11/6/2023

I acknowledge that I am aware and will comply with the rules and regulations as set forth in the CVC Design Guidelines, CVC Covenants, and CVC PUD. I authorize the representative below to act on my behalf and recognize that failure to abide by the rules and regulations by either my representative or myself may result in fines.

Applicant/Representative Name: See Architect

Mailing Address: _____

Phone: _____

Email: _____

Architect Name: Adam Harrison SRI Architects, Principle

License#: 400685

Mailing Address: PO Box 840 Edwards, Co. 81632

Phone: 970-949-3302

Email: adam@sriarchitect.com

Landscape Architect Name: Devin Gardner, Piñon Sage Landscape Architects

Mailing Address: 700 Redstone Ave, Carbondale, Co.

Phone: 970-379-0816

Email: devin@pinonsage.com

Office Use Only:

Pre-App Mtg:

Pre-Design Mtg:

Fee:

Date:

Sketch Mtg:

Fee:

Date:

Final Mtg:

Fee:

Date:

November 6, 2023

1611 BEARD CREEK TRAIL – MODIFICATIONS TO APPROVED PLANS
PROJECT #1943

Cordillera Valley Club
Design Review Board
Allison Kent
970.390.8530
PO Box 4777
Eagle, CO 81631

Modifications are revised on the following attached exhibits here within:

- Clouded revisions on sheet C1.0 & L3.0 submitted for DRC record.
SRI & Pinon Sage have further reviewed the driveway area required for safe and effective vehicle access in and out of the garages. The modified boulder walls with eased radius to better relate with existing site conditions, driveway slope and adjusted to better follow the building envelop east/southeast edge of driveway. The modification reduces the elements previously extending into steeper existing slopes that required more excess fill which is not desired. We feel these modifications will allow owners to safely navigate the driveway.

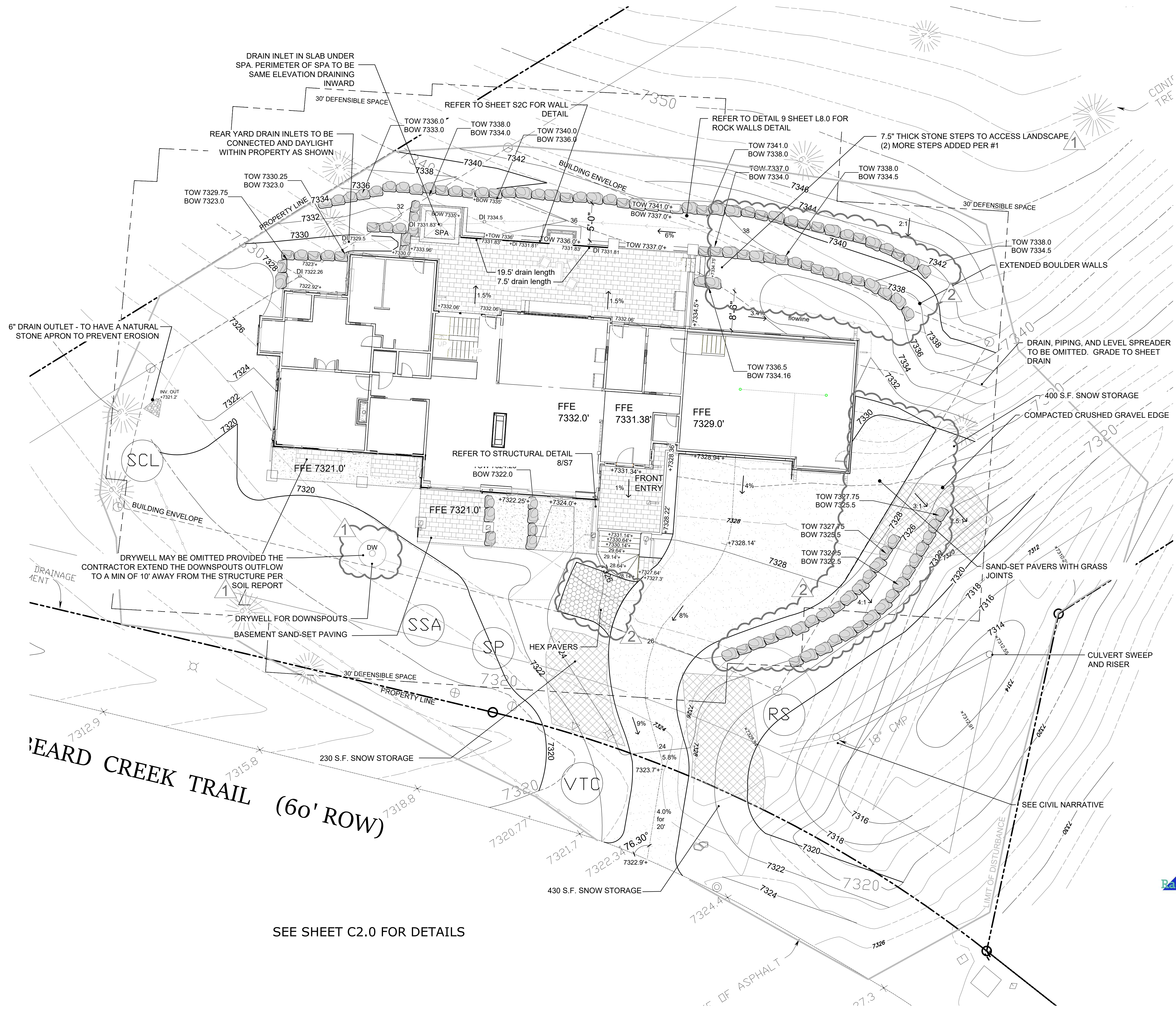
Sincerely,
By: Bert Willemse



piñon sage
landscape architects
carbondale, CO, 81623
devin@pinonsage.com
(970) 379.0816

GRADING AND DRAINAGE

1. VERIFY THE ACTUAL LOCATION AND ELEVATION OF UTILITIES IN THE FIELD PRIOR TO BEGINNING CONSTRUCTION OF THE NEW FACILITIES. PROTECT EXISTING UTILITIES AND BE RESPONSIBLE FOR DAMAGE TO UTILITIES ENCOUNTERED DURING CONSTRUCTION.
2. REQUEST INSPECTION AS REQUIRED 48 HOURS IN ADVANCE OF PERFORMING ANY WORK UNLESS OTHERWISE NOTED ON THIS SHEET.
3. DEBRIS CREATED BY REMOVAL OPERATIONS BECOME THE PROPERTY OF THE CONTRACTOR AND IS TO BE LEGALLY DISPOSED OF AWAY FROM THE JOB SITE.
4. NOTIFY LOCAL UNDERGROUND SERVICE COMPANIES FOR UTILITY FINDS 48 HOURS PRIOR TO ANY EXCAVATION.



MONGRAIN RESIDENCE
1611 BEARD CREEK TRAIL
EDWARDS, COLORADO
BUILDING PERMIT



Know what's below.
Call before you dig.

ISSUE DATE - 04/22/22

#	date	description
10/24/22		For Construction
9/12/23		Landscape Revisions

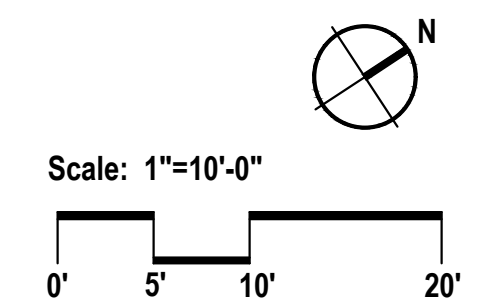
drawn - DG
PS job# - 0200



2438 JACK CREEK RD
GRAND JCT, CO 81505
720-224-1095
BRYNN BOYD, P.E.

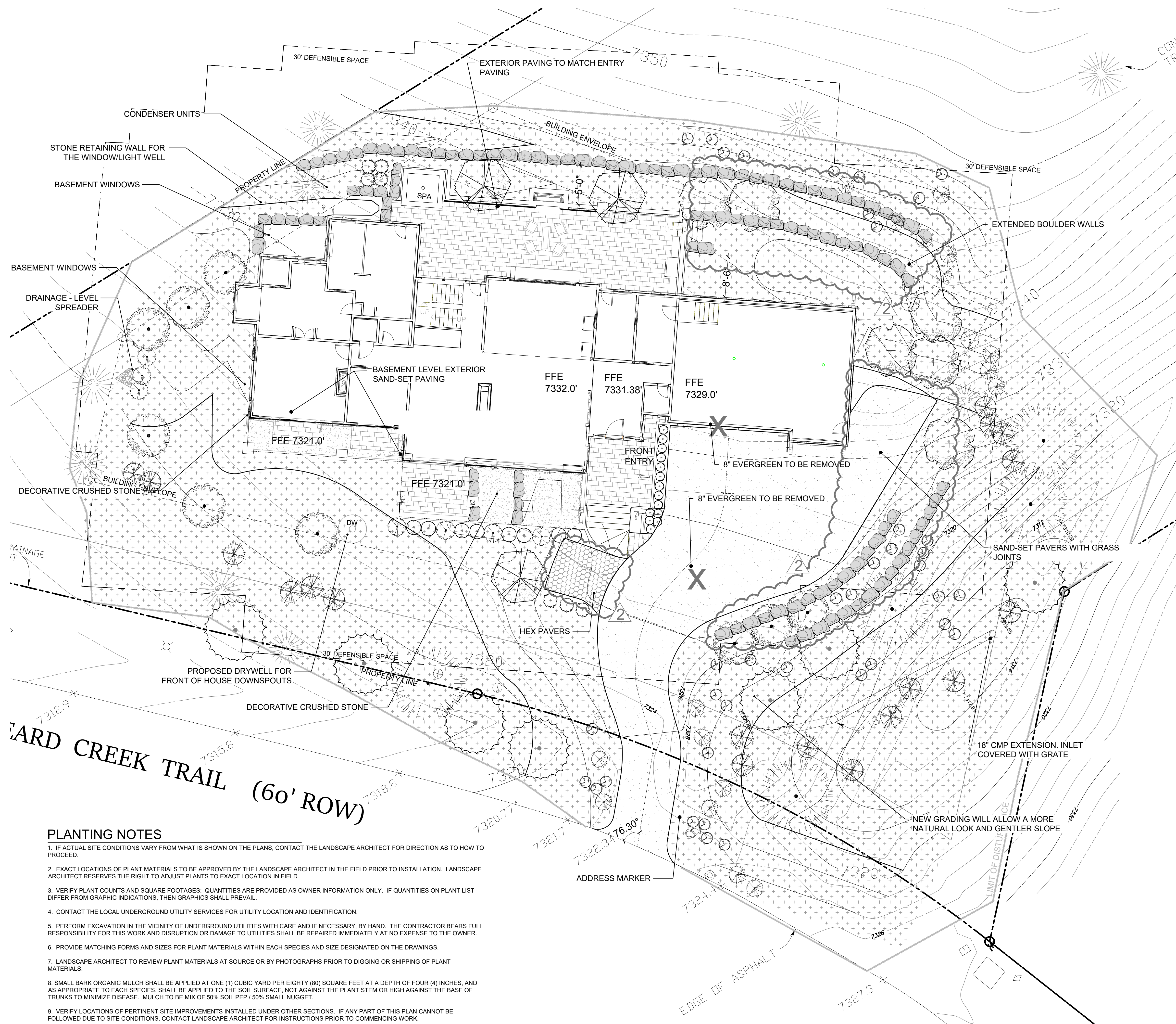


SEE SHEET C2.0 FOR DETAILS



GRADING and
DRAINAGE
PLAN

C1.0



LANDSCAPE KEY

- PERENNIAL PLANTS - TBD
- NATIVE COLORADO NON IRRIGATED SEED - WITH ADDITIONAL SHRUBS (RATE) 20 LBS./ACRE

SHRUB KEY

- DARK KNIGHT SPIREA
- ARCTIC FIRE DOGWOOD
- RUBBER RABBITBRUSH
- BIG SAGEBRUSH
- SASKATOON SERVICEBERRY
- GOLDEN CURRANT

LANDSCAPE SEED MIXES

Common Name	Scientific Name	Percent of Mix
Western Wheatgrass	<i>Pascopyrum smithii</i>	25
Slender Wheatgrass	<i>Elymus trachycaulis</i>	25
Blucunch Wheatgrass ("seca" variety)	<i>Pseudoroegneria spicata</i>	10
Green Needlegrass	<i>Nassella viridula</i>	15
Blue Grama	<i>Bouteloua gracilis</i>	15
Indian Ricegrass	<i>Achnatherum hymenoides</i>	10

** NOTE - ADDITIONAL SEED MIX TO CONTAIN ADDITIONAL 5 LBS COMBINATION OF 33% RUBBER RABBITBRUSH, 33% WINTERFAT, AND 33% HOODS PHLOX FOR RECLAMATION AND HABITAT

TREE LIST

BOTANICAL NAME	COMMON NAME	PLANTING SCHEDULE QTY.	SIZE
DECIDUOUS TREES (total # of deciduous trees 18)			
<i>Acer glabrum</i>	Rocky Mountain Maple	9	3" cal.
<i>Amelanchier x grandiflora</i> 'Autumn Brilliance'	Autumn Brilliance Serviceberry	3	2.0" cal
<i>Populus tremuloides</i>	Quaking Aspen	6	3" cal.
EVERGREEN TREES (total # of evergreen trees 16)			
<i>Juniperus monosperma</i>	One-Seed Juniper	7	8' hgt.
<i>Pinus edulis</i>	Piñon Pine	4	8' hgt.
<i>Pseudotsuga menziesii</i>	Douglas Fir	5	10' hgt.

SHRUB LIST

BOTANICAL NAME	COMMON NAME	PLANTING SCHEDULE QTY.	SIZE
<i>Amelanchier alnifolia</i>	Saskatoon Serviceberry	18	7 gal
<i>Artemisia tridentata</i>	Big Sagebrush	14	5 gal
<i>Caryopteris x claudensis</i> 'Dark Knight'	Dark Knight Spirea	14	5 gal
<i>Chrysothamnus nauseosus</i>	Rubber Rabbitbrush	38	5 gal
<i>Cornus stolonifera</i> 'Farrow'	Arctic Fire Dogwood	9	3" b&b
<i>Perovskia atriplicifolia</i>	Russian Sage	8	5 gal
<i>Philadelphus lewisii</i> 'Cheyenne'	Cheyenne Mockorange	9	5 gal

IRRIGATION NOTES

- AUTOMATIC DRIP IRRIGATION SHALL BE PROVIDED AT ALL NEW TREES AND SHRUBS. AUTOMATIC 12" POP-UP SPRAY HEADS SHALL BE PROVIDED AT PERENNIAL BEDS. DRIP EMITTERS SHALL BE PROVIDED TO ALL TREES AND SHRUBS. 5 GALLON SHRUBS (1 GAL/HR EMITTER MIN) TREE (6 GAL/HR EMITTERS MIN). ALL OVERHEAD IRRIGATION HEADS SHALL BE SPACED ON CENTER PER THEIR COVERAGE RADIUS TO PROVIDE EVEN AND EFFICIENT WATERING.
- FLUSH DIRT AND DEBRIS FROM PIPING BEFORE INSTALLING SPRINKLERS AND OTHER DEVICES.
- A LOW VOLTAGE SYSTEM MANUFACTURED EXPRESSLY FOR CONTROL OF AUTOMATIC CIRCUIT VALVES OF AN IRRIGATION SYSTEM SHALL BE INSTALLED. SYSTEM SHALL INCLUDE AN ADJUSTABLE 24 HOUR TIME CLOCK WHICH WILL ALLOW FOR AUTOMATIC, SEMI-AUTOMATIC, OR MANUAL OPERATION; CIRCUIT CONTROL WHICH ALLOWS FOR MANUAL OR AUTOMATIC OPERATION; AND PROGRAMMABLE CAPABILITIES THAT ALLOW FOR INDEPENDENT WATERING SCHEDULES PER ZONE. THE SYSTEM SHALL INCLUDE A PRESSURE REGULATOR AND BACKFLOW PREVENTOR DEVICE WITH 20 PSI AT A 1" POINT OF CONNECTION. NOTIFY LANDSCAPE ARCHITECT IF THE REQUIRED FLOW CANNOT BE MET.
- PROVIDE 4" PVC SLEEVING BELOW ALL HARDSCAPE TO ADJACENT PLANTING AREAS.
- LAYOUT OF IRRIGATION & CORRESPONDING PLANTINGS SHALL BE FIELD ADJUSTED TO AVOID INTERFERENCE W/ ROAD & PLOWING.
- MAINLINE IS TO BE BURIED 12"-18" BELOW FINISHED GRADE. LATERAL PIPES SHALL BE BURIED 8"-12" BELOW FINISHED GRADE IN LANDSCAPED AREAS AND A MINIMUM OF 2" BELOW FINISHED GRADE IN NATIVE/UNDISTURBED AREAS. ALL PIPE TRENCHES SHALL BE FREE OF ROCKS AND DEBRIS PRIOR TO PIPE INSTALLATION. BACKFILL TRENCHES WITH SOIL THAT IS FREE OF ROCKS AND DEBRIS.
- INSTALL ALL DRIP IRRIGATION LINES PER MANUFACTURER SPECIFICATIONS.
- CONTRACTOR IS TO PROVIDE OWNER WITH AS-BUILT IRRIGATION PLANS THAT INCLUDE APPROXIMATE MAINLINE ROUTING AND VALVE BOX LOCATIONS.
- THE FOLLOWING IRRIGATION TESTS AND INSPECTIONS SHALL BE COMPLETED BY THE CONTRACTOR:
 - LEAK TEST: AFTER INSTALLATION, CHARGE SYSTEM AND TEST FOR LEAKS. REPAIR LEAKS AND RETEST UNTIL NO LEAKS EXIST.
 - OPERATIONAL TEST: AFTER ELECTRICAL CIRCUITRY HAS BEEN ENERGIZED, OPERATE CONTROLLERS AND AUTOMATIC CONTROL VALVES TO CONFIRM PROPER SYSTEM OPERATION
 - TEST AND ADJUST CONTROLS AND SAFETIES: REPLACE DAMAGED AND MALFUNCTIONING CONTROLS AND EQUIPMENT.
- CONTRACTOR IS TO PROVIDE START UP AND BLOW-OUT SERVICES FOR IRRIGATION SYSTEM FOR THE FIRST SEASON IT IS INSTALLED.
- EXTENT OF IRRIGATION AT REVEGETATED AREAS IS TO COVER LIMITS OF DISTURBANCE. VERIFY LIMITS OF DISTURBANCE ON SITE AND ADJUST ACCORDINGLY. INFORM LANDSCAPE ARCHITECT IF ADDITIONAL IRRIGATION IS REQUIRED.

IRRIGATION CALCULATIONS

- DROUGHT TOLERANT NON-IRRIGATED SEED - 14,975 S.F.
- TEMP IRRIGATION BETWEEN RETAINING WALLS (12" ROTORS, 12" POP-UPS)
- PERENNIAL BEDS (12" POP-UP SPRAY) - 90 S.F.
- SHRUBS (110) - DRIP IRRIGATED
- DECIDUOUS TREES (18) - DRIP IRRIGATED
- SPRUCE TREES (16) - DRIP IRRIGATED

IRRIGATION TOTALS

PERENNIAL GARDENS = 90 S.F.
 TEMP IRR. FOR SEED BETWEEN ROCK WALLS = 1,345 S.F.
 SHRUBS (5 GAL) 110 TOTAL = 110 S.F.
 DECIDUOUS TREES 18 (8 sf/ea) = 162 S.F.
 EVERGREEN TREES 16 (16 sf/ea) = 256 S.F.
 TOTAL 1,958 S.F.

TREE KEY

- QUAKING ASPEN
- AUTUMN BRILLIANCE SERVICEBERRY
- ROCKY MOUNTAIN MAPLE
- PIÑON PINE
- DOUGLAS FIR
- ONE-SEED JUNIPER

PLANTING NOTES

- IF ACTUAL SITE CONDITIONS VARY FROM WHAT IS SHOWN ON THE PLANS, CONTACT THE LANDSCAPE ARCHITECT FOR DIRECTION AS TO HOW TO PROCEED.
- EXACT LOCATIONS OF PLANT MATERIALS TO BE APPROVED BY THE LANDSCAPE ARCHITECT IN THE FIELD PRIOR TO INSTALLATION. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO ADJUST PLANTS TO EXACT LOCATION IN FIELD.
- VERIFY PLANT COUNTS AND SQUARE FOOTAGES. QUANTITIES ARE PROVIDED AS OWNER INFORMATION ONLY. IF QUANTITIES ON PLANT LIST DIFFER FROM GRAPHIC INDICATIONS, THEN GRAPHICS SHALL PREVAIL.
- CONTACT THE LOCAL UNDERGROUND UTILITY SERVICES FOR UTILITY LOCATION AND IDENTIFICATION.
- PERFORM EXCAVATION IN THE VICINITY OF UNDERGROUND UTILITIES WITH CARE AND IF NECESSARY, BY HAND. THE CONTRACTOR BEARS FULL RESPONSIBILITY FOR THIS WORK AND DISRUPTION OR DAMAGE TO UTILITIES SHALL BE REPAIRED IMMEDIATELY AT NO EXPENSE TO THE OWNER.
- PROVIDE MATCHING FORMS AND SIZES FOR PLANT MATERIALS WITHIN EACH SPECIES AND SIZE DESIGNATED ON THE DRAWINGS.
- LANDSCAPE ARCHITECT TO REVIEW PLANT MATERIALS AT SOURCE OR BY PHOTOGRAPHS PRIOR TO DIGGING OR SHIPPING OF PLANT MATERIALS.
- SMALL BARK ORGANIC MULCH SHALL BE APPLIED AT ONE (1) CUBIC YARD PER EIGHTY (80) SQUARE FEET AT A DEPTH OF FOUR (4) INCHES, AND AS APPROPRIATE TO EACH SPECIES. SHALL BE APPLIED TO THE SOIL SURFACE, NOT AGAINST THE PLANT STEM OR HIGH AGAINST THE BASE OF TRUNKS TO MINIMIZE DISEASE. MULCH TO BE MIX OF 50% SOIL PEP / 50% SMALL NUGGET.
- VERIFY LOCATIONS OF PERTINENT SITE IMPROVEMENTS INSTALLED UNDER OTHER SECTIONS. IF ANY PART OF THIS PLAN CANNOT BE FOLLOWED DUE TO SITE CONDITIONS, CONTACT LANDSCAPE ARCHITECT FOR INSTRUCTIONS PRIOR TO COMMENCING WORK.



MONGRAIN RESIDENCE
 1611 BEARD CREEK TRAIL
 EDWARDS, COLORADO

BUILDING PERMIT



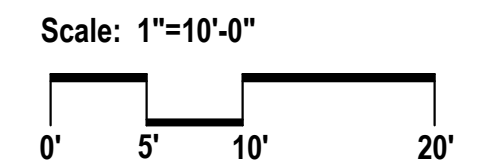
ISSUE DATE - 05/27/22

#	date	description
1	10/24/22	For Construction
2	9/12/23	Landscape Revisions

drawn - DG
 PS job# - 0200

LANDSCAPE PLAN

L3.0



Cordillera Valley Club Design Review Board *Staff Memorandum*

Owner: Barbara Scrivens
Address: 42 Pinnacle Point
Legal Address: Filing 4 Lot 12
Architect: Brian Judge
Staff Contact: Allison Kent, AICP
DRB Hearing #1: July 28, 2021
DRB Hearing #2: October 29, 2021
DRB Hearing #3: March 23, 2022
DRB Hearing #4: November 28, 2023

Project Description

- Applicant is requesting a Changes to Approved Plans Review
- All changes were implemented by the contractor without approvals or a mock-up inspection



CHANGES TO APPROVED PLANS REVIEW - November 28, 2023

Project Review

A. Architecture Comments

1. The architect's letter indicates the following changes:
 - a. requested change to the majority of prior approved Exterior Materials,
 - b. an exterior mockup and material installation review request
 - c. a requested change to Fixture A (Exterior Sconce).
 - d. added Fixture F in one location (quantity 2)
 - e. exterior trim detail change
 - f. exterior header in stone change
 - g. front planter change to stone
 - h. door and window swap at mud room
 - i. roof pitch change at garage to lower the roof.
 - j. mechanical cabinet on elevation added to hide meters.
 - k. stone veneer added at entry and master closet.
 - l. Architect graphic error in siding shown on master-2 locations as noted
 - m. Chimney and chimney cap change to metal
 - n. Review of previously approved window changes and columns at entry and rear deck

Many of these changes could have been handled administratively, with a "Change to Approved Plans" application. Any items of concern from staff could have been addressed at a DRB meeting. Of biggest concern is that the applicant, despite repeated requests from Staff, did not complete a mock-up prior to the installation of exterior materials. At every pre-construction meeting, it is identified that this will result in an automatic deduction of \$500 from the Compliance Deposit. It is most unfortunate that in addition to not completing the mock-up, the applicant changed nearly every single material from what was reviewed and approved by the DRB at Final Plan Review. Staff recommends the DRB provide input on the proposed changes. A few of the more major changes are discussed below.

2. The change to the chimney is a concern. The Design Guidelines state: "*Chimneys shall be constructed of stone, or stone and metal, consistent with stone and metal used on other areas of the buildings.*" The DRB should provide input on the change to the material for the chimney.
3. The change to the roof form at the garage modified the pitch from 8:12 to 4:12. The Design Guidelines state: "*Roof forms shall be limited to low-pitched gable, shed, or double-pitch roofs in the range of 4:12 to 8:12. 3:12 roofs may be allowed, as well as other roof forms, such as curved roofs or flat roofs, at the discretion of the DRB.*" While staff believes the change is unfortunate, it is consistent with other roof pitches on the home, and complies with the Design Guidelines.
4. The proposed exterior lighting fixture change complies with the Design Guidelines as they new fixtures are dark sky compliant. The Design Guidelines state: "*Exterior light fixtures shall be of materials and quality consistent with the architecture of the*

home. The number of exterior light fixtures should be the minimum needed to provide for safety and security. Floodlights and spotlights are not permitted. All exterior light fixtures shall be dark sky compliant. Dark sky compliant fixtures require the installation of incandescent bulbs 40 watts or less, or LED bulbs of no more than 400 lumens and no more than 3000 kelvin. Any fixtures installed prior to the dark sky compliant requirement (January 1, 2018) and any fixtures that have a visible source of illumination shall require installation of incandescent bulbs that total 25 watts or less or, if LED bulbs, no more than 300 lumens and no more than 3000 kelvin. Exterior light fixtures should not be illuminated overnight or for extended periods of time. No exterior lighting which produces excessive glare to neighboring homes, or pedestrian or vehicular traffic shall be permitted.”

B. Staff Recommendation

Staff recommends approval of the Changes to Approved Plans for the Scrivens Residence, subject to the following conditions:

1. General Condition: Compliance with the CVC Design Guidelines and process is not a substitute for compliance with Eagle County regulations, State regulations, or Federal regulations. Additional permits and approvals may be required by these agencies prior to commencing any work on the property. The property owner and its agents are responsible for ensuring compliance with all local, state, and federal regulations.
2. An additional \$1,000 deduction from the Compliance Deposit shall be issued for the failure to follow the requirements and process as outlined in the Design Guidelines.
3. All light fixtures must be Dark Sky compliant when installed pursuant to the Design Guidelines.

FINAL REVIEW - March 23, 2022

Project Review

A. Architecture Comments

1. The Final Plan submittal was originally submitted for the February CVC DRB meeting. Upon review of the plans, staff identified some significant height issues. While some of the ridge elevations have been modified, the majority of the corrections occurred by adjusting the grades on the stamped topographic survey by Archibeque Land Consulting, Ltd. Because of the revisions to the topographic survey, the proposed plan complies with height limitations.
2. The renderings do not appear to address some of the changes that were made from the previous review. For example, there are various window changes and header/trim updates that are indicated on the elevations but are not reflected in the renderings. Because window trim was a noted concern of the DRB, it is recommended that for Technical Plan Review, the applicant update the renderings to reflect what is proposed for review and approval by staff.
3. Generally, staff believes that applicant has addressed the concerns from the previous review and that the architecture of the home is consistent with the Design Guidelines though we are concerned that the building is being developed in excess of building height based upon the manipulation of the topographic survey. The new topographic survey is stamped by the surveyor.

B. Site Plan and Landscape Plan Comments

1. The applicant has submitted engineered plans for the proposed improvements to the drainage channel, based on the Design Review Board's request.
2. The applicant has indicated landscape path lights outside the building envelope and in areas of the yard that staff notes are inconsistent with the Design Guidelines. Landscape lighting is only permitted outside the building envelope for the main front walkway, driveway, and address identification. Staff recommends the exterior lighting plan eliminate all exterior landscape lights outside the building envelope. The Design Guidelines state:

4.11 LANDSCAPE LIGHTING

Objectives

- *To ensure all landscape lighting is low-level to minimize off-site impacts, light pollution, and maintain 'dark skies' for the enjoyment of star gazing and overall environmental quality*
- *To provide safety and identification of homesites*

All landscape lighting requires approval by the DRB. Appropriate uses of landscape lighting include low-level landscape lighting to define walkways, patios or other outdoor features immediately surrounding a home. All landscape light fixtures shall be indirect, shielded and or hooded, so the

light source (bulb) is not visible from off site. All landscape lighting shall be designed to minimize impacts on adjacent properties.

Design Considerations

- No landscape lighting is permitted outside of the building envelope with the exception of the main front walkway, driveway and address identification.
- Tree up-lighting shall be permitted only with the approval of the DRB and will consist of a maximum of three (3) trees, lit from grade by fully recessed fixtures, immediately surrounding the home.
- Water features may be lit underwater for safety purposes.
- Spotlights and any other large or bright landscape lights shall not be permitted.

3. The applicant is requesting a Deviation from the Design Guidelines to allow for improvements located outside the building envelope, including a portion of the garage, patios, decks, hot tub, retaining walls, walkways and roof overhangs. In general, the scope of the encroachments outside the building envelope has been reduced from the previous sketch plan review but staff is concerned that improvements outside the envelope are extensive and could affect adjacent neighbors. A portion of the deck is located in the side 12.5 ft. easement. The applicant shall provide written approval from any easement holders with the application for Tech Plan review and approval. The Design Guidelines state:

2.2 BUILDING ENVELOPE

Objectives

- *Identify the portion of each site that will allow the design of the home to maximize views and solar orientation*
- *Establish separation between homes*
- *Preserve existing vegetation and optimize other site attributes*

A building envelope has been established for every residential homesite at the Cordillera Valley Club. The building envelope is indicated on the final plats for the Cordillera Valley Club.

Building envelopes were determined based on overall planning and design objectives for the Cordillera Valley Club and the site specific characteristics of each homesite. All habitable space must be located entirely within the area defined by the building envelope. As such, the building envelope represents a very important consideration in the design of a home. Owners are encouraged to meet with the DRB early in the design process in order to understand their site and building envelope, including improvements allowed to be built outside the building envelope, and improvements that must be built inside the building envelope.

While owners are strongly encouraged to design their homes and related improvements to comply with the building envelope on their lot, the Cordillera Valley Club Planned Unit Development Guide outlines procedures for allowing certain elements of a building to encroach outside of the envelope and for modifying building envelope locations.

Allowed:

- All portions of a home, including all accessory buildings, garages, decks, patios, terraces, recreational equipment, artwork, swimming pools, hot tubs/ jacuzzis, retaining walls, site walls and fences, and similar features shall be located within the building envelope.

Exceptions:

- Driveway access (including grading and retaining walls necessary for site access) and landscape improvements may be located outside of the building envelope subject to approval by the DRB.
- At their discretion, the DRB may approve non-habitable space such as roof overhangs, balconies, porches, patios, garages, and service areas that are located outside the building envelope provided such proposals are found by the DRB to be in accordance with the process for minor encroachments outside the building envelope.
- Unless necessary for driveway access, the removal of existing vegetation outside of the building envelope is prohibited without specific approval from the DRB and may result in fines up to the full amount of the Compliance Deposit or other fine imposed by the DRB or the Executive Board of the Property Owner’s Association. Special approval will be given in cases where the Eagle County Wildfire Regulations encourage or require the owner to remove existing vegetation and/or trees outside of the building envelope.

The DRB must make the following findings to approve a deviation:

- a) The proposed encroachment does not affect views from surrounding homesites;
 - b) The proposed encroachment does not substantially reduce the distance between homesites on lots;
 - c) The proposed encroachment allows for a more sensitive design solution by minimizing site grading, the loss of mature vegetation, and/or other considerations, and
 - d) The proposed encroachment will allow for a design that is consistent with the overall design philosophy and design style for the Cordillera Valley Club.
4. The CVC Metro District engineer, Tom Marcin, notes that the driveway flares are unnecessary due to the location on the cul-de-sac and they should be removed.
 5. The driveway grade complies with the recommendations of the Design Guidelines.
 6. The landscape plan complies with the Design Guidelines for permanently irrigated area, which is limited to 3,000 sq. ft.
 7. The heights of all retaining walls are consistent with the Design Guidelines.

C. Adjacent Neighbor Comments

Public notice to adjacent properties was provided on February 8, 2022. Staff has attached all comments received on the project:

D. Staff Recommendation

Staff recommends approval of the Final Plan for the Scrivens Residence, subject to the following conditions:

1. General Condition: Compliance with the CVC Design Guidelines and process is not a substitute for compliance with Eagle County regulations, State regulations, or Federal regulations. Additional permits and approvals may be required by these

agencies prior to commencing any work on the property. The property owner and its agents are responsible for ensuring compliance with all local, state, and federal regulations.

2. The applicant shall address the comments provided in this staff memorandum and any DRB comments prior to a Technical Plan Review submittal.
3. Plantings and improvements within utility easements will need to be approved by easement holders prior to Technical Plan Review.
4. All light fixtures must be Dark Sky compliant when installed pursuant to the Design Guidelines.

E. DRB Deliberation

DRB members Michael Current, Jeff Townsend, and Bobby Ladd were present via the Zoom Meeting. Steve McKeever was absent.

Brian Judge, Architect, was present. Dennis Anderson, Landscape Architect, was present.

Brian presented the plans.

Dennis stated that they would remove the driveway flares. He presented the landscape plans.

Bobby asked if the plans would meet wildfire regulations.

Dennis indicated that they would - they have mostly proposed aspens.

Micheal stated that the DRB needs to understand the slopes at this location. Height needs to be verified. The DRB would like to see a third party verification of the survey information. It needs to be shot, not drone footage.

Jeff stated that the lighting plan needs to comply with the Design Guidelines.

Bobby asked about the windows at the entry. The change there is pretty dramatic from the stone element from the previous review.

Michael agreed and would like to see all of the changes to the elevations correctly shown on the renderings.

Jeff wanted the site lighting removed, and that the Design Guidelines require the minimum amount required for safety.

The DRB discussed verifying the grades from the 7294 contour, down to the corner of the building envelope.

Michael stated that height is not something they would consider varying from and that they are extremely uncomfortable with the way this was addressed. If a third party can verify the grades, they would be ok with approving the home.

Brian indicated that they could move the chimney out and then the home would comply with height based on the originally stamped survey. Staff noted that this has not been verified, but if so, this would be an acceptable solution. No portion of a roof can exceed 35 ft.

Motion to approve with conditions. Final approval is subject to the conditions.

Motion: Jeff Townsend

Second: Michael Current

Vote: 3-0 (Steve McKeever absent)

Conditions:

1. General Condition: Compliance with the CVC Design Guidelines and process is not a substitute for compliance with Eagle County regulations, State regulations, or Federal regulations. Additional permits and approvals may be required by these agencies prior to commencing any work on the property. The property owner and its agents are responsible for ensuring compliance with all local, state, and federal regulations.
2. The applicant shall update the renderings to reflect the changes to the elevations that were presented. Staff may refer this back to the DRB.
3. The applicant shall address the comments provided in this staff memorandum and any DRB comments prior to a Technical Plan Review submittal.
4. The applicant shall provide either third party verification of the existing grades or provide plans that comply with the previous survey. If the third party verification is the chosen option, the applicant shall verify the grades from the 7294 contour, down to the corner of the building envelope.
5. Plantings and improvements within utility easements will need to be approved by easement holders prior to Technical Plan Review.
6. All light fixtures must be Dark Sky compliant when installed pursuant to the Design Guidelines. The applicant shall remove lights that do not comply with the Design Guidelines and shall only provide the minimum lights required for safety. The lights in the yard shall be eliminated.

SKETCH REVIEW - October 29, 2021

Project Review

A. Architecture Comments

1. Roof pitches are 8:12 and 4:12 for roof forms. The 8:12 roof forms are DaVinci shakes and the 4:12 roof forms are pre-weather copper standing seam. The roof pitches and materials are consistent with the Design Guidelines and with recent approvals.
2. At the previous Sketch Plan review, staff was concerned that the proposed plans did not appear to have an expression of structure. Based on the plans submitted for this meeting, staff believes that the applicant has successfully addressed this concern. Staff recommends the DRB provide input on the expression of structure.
3. For Final Plan Review, the applicant shall provide a height plan indicating the height of all roof ridges and eaves overlaid on a grading plan showing both existing and finished grade. The proposed home appears to comply with the maximum height limitation of 35 ft.
4. The Design Guidelines encourage the use of front porches as a welcoming entry in to the home. Staff believes that the changes to the front porch and entry are more consistent with the Design Guidelines. The DRB should provide the applicant with guidance on the front porch and entry to the home. The Design Guidelines state:

3.10 ENTRYWAYS/ PORCHES

Objectives

- *To provide a sense of entry to the home, entry porches are required*
- *All porches shall be an integral part of the overall design*

All homes shall have a welcoming, inviting entry designed to enhance the overall look of the structure and break up the verticality of its facades. The entry defines a place of gathering and receiving. The entry and front porch can be an opportunity to add individual creative expression, or a signature architectural statement, to the home.

Design Considerations

- Porches must be constructed of materials that complement the materials on the home.
- The use of expressed structure, such as exposed rafter tails, lookout beams and knee braces are required.
- Porch roofs should be different, in pitch and materials, from the adjacent roof planes.
- Wrap-around porches are encouraged.

B. Site Plan and Landscape Plan Comments

1. The applicant is requesting a Deviation from the Design Guidelines to allow for improvements located outside the building envelope, including a portion of the garage, patios, decks, hot tub, retaining walls, walkways and roof overhangs. In

general, the scope of the encroachments outside the building envelope has been reduced from the previous sketch plan review. However, a portion of the deck is located in the side 12.5 ft. easement. Should this encroachment remain, the applicant shall provide written approval from any easement holders. Staff still has some concerns regarding the extent of the deviations for improvements outside the building envelope. Staff recommends the DRB provide input on the scope of the proposed encroachments outside the building envelope. The Design Guidelines state:

2.2 BUILDING ENVELOPE

Objectives

- *Identify the portion of each site that will allow the design of the home to maximize views and solar orientation*
- *Establish separation between homes*
- *Preserve existing vegetation and optimize other site attributes*

A building envelope has been established for every residential homesite at the Cordillera Valley Club. The building envelope is indicated on the final plats for the Cordillera Valley Club.

Building envelopes were determined based on overall planning and design objectives for the Cordillera Valley Club and the site specific characteristics of each homesite. All habitable space must be located entirely within the area defined by the building envelope. As such, the building envelope represents a very important consideration in the design of a home. Owners are encouraged to meet with the DRB early in the design process in order to understand their site and building envelope, including improvements allowed to be built outside the building envelope, and improvements that must be built inside the building envelope.

While owners are strongly encouraged to design their homes and related improvements to comply with the building envelope on their lot, the Cordillera Valley Club Planned Unit Development Guide outlines procedures for allowing certain elements of a building to encroach outside of the envelope and for modifying building envelope locations.

Allowed:

- All portions of a home, including all accessory buildings, garages, decks, patios, terraces, recreational equipment, artwork, swimming pools, hot tubs/ jacuzzis, retaining walls, site walls and fences, and similar features shall be located within the building envelope.

Exceptions:

- Driveway access (including grading and retaining walls necessary for site access) and landscape improvements may be located outside of the building envelope subject to approval by the DRB.
- At their discretion, the DRB may approve non-habitable space such as roof overhangs, balconies, porches, patios, garages, and service areas that are located outside the building envelope provided such proposals are found by the DRB to be in accordance with the process for minor encroachments outside the building envelope.
- Unless necessary for driveway access, the removal of existing vegetation outside of the building envelope is prohibited without specific approval from the DRB and may result in fines up to the full amount of the Compliance Deposit or other fine imposed by the DRB or the Executive Board of the Property Owner's Association. Special approval will be given in cases where the Eagle County Wildfire Regulations encourage or require the owner to remove existing vegetation and/or trees outside of the building envelope.

The DRB must make the following findings to approve a deviation:

- e) The proposed encroachment does not affect views from surrounding homesites;
 - f) The proposed encroachment does not substantially reduce the distance between homesites on lots;
 - g) The proposed encroachment allows for a more sensitive design solution by minimizing site grading, the loss of mature vegetation, and/or other considerations, and
 - h) The proposed encroachment will allow for a design that is consistent with the overall design philosophy and design style for the Cordillera Valley Club.
2. There is an existing drainage that is located outside the building envelope. The applicant has proposed improvements to the drainage. Staff recommends that this existing drainage be maintained in its current natural state and that the limits of disturbance protect the drainage. If the drainage is to be modified in anyway, it is recommended that the site and grading plan be designed and stamped by a licensed civil engineer to ensure that the improvements do not impact other properties or rights-of-way. The Design Guidelines state:

2.4 GRADING AND DRAINAGE

Objectives

- *Site grading shall be limited to no more than what is necessary to integrate the home and exterior living spaces with the site features and topography*
- *Site grading shall be limited to what is necessary to accommodate the development of a home and site access.*
- *A drainage plan must direct all water on the site to the existing drainage channels in the Cordillera Valley Club*

The DRB or DRB Administrator may require a licensed civil engineer to review and stamp the grading, drainage and soil stabilization plans depending on the scope of the project. Drainage must be controlled during construction (RE: Section 5.7- Erosion Control and Revegetation). In regard to drainage during the construction process, Eagle County Regulations must be followed. The Cordillera Valley Club has unique soil conditions and native drainage channels from the native landscape that has resulted in severe flooding and erosion issues.

Grading Considerations

- Excessive re-contouring of a site, or over lot grading, is not permitted.
- Grading must be confined to within the building envelope and driveway unless otherwise approved by the DRB.
- Grading shall be designed to blend with the natural contours of the site by feathering cuts and fills into existing terrain.
- In order to minimize impacts on existing vegetation and excessive site disturbance, the use of retaining walls is encouraged in lieu of re-grading large areas of site. At their discretion, the DRB may require the use of retaining walls in lieu of grading in order to preserve significant vegetation or site characteristics (RE: Section 4 - Landscape Design)
- When cut and fill slopes are necessary, they should be as steep as possible to minimize site disturbance while still allowing for revegetation. Generally, a 2:1 slope is the maximum slope

allowed in order to ensure adequate revegetation. If soil characteristics are appropriate, steeper slopes may be approved by the DRB with the additional of boulder retaining areas for planting.

- Grading, landscaping, or site improvements shall not interfere with the functional aspect of natural drainage courses and easements.
3. The driveway grade complies with the recommendations of the Design Guidelines.
 4. The landscape plan complies with the Design Guidelines for permanently irrigated area, which is limited to 3,000 sq. ft.
 5. The heights of all retaining walls are consistent with the Design Guidelines.

C. Adjacent Neighbor Comments

Public notice to adjacent properties was provided on October 19, 2021. As of the date of this memo, staff has received no additional comments:

D. Staff Recommendation

Staff recommends approval of the Sketch Plan for the Scrivens Residence, subject to the following conditions:

1. The applicant shall address the comments provided in this staff memorandum and any DRB comments prior to a Final Plan Review submittal.

E. DRB Deliberation

DRB members Michael Current, Jeff Townsend, and Bobby Ladd were present via the Zoom Meeting. Steve McKeever was absent.

Brian Judge, Architect, was present. Brian presented the plans.

Michael stated that overall the house looks great. Look at the Design Guidelines for direction on window trim. He asked if the deck post was in the easement.

Bobby asked about the roof overhang dimensions. He would like to see more consistency. He stated that the AC units should be located within the building envelope. He wanted to see more structural expression on the asymmetrical roof lines.

Jeff had no additional architectural comments. He noted that the DRB agreed with the staff's comments on requiring a drainage report or letter and stamped civil drawings for the improvements outside the building envelope in the back yard.

Brian indicated that they were already underway.

Motion to Approve with Conditions.

Motion: Jeff Townsend

Second: Michael Current

Vote: 3-0 (Steve McKeever absent.)

Conditions:

1. The applicant shall address the comments provided in this staff memorandum and any DRB comments prior to a Final Plan Review submittal.

-
2. The applicant shall provide a drainage report or letter and stamped civil plans for the grading outside the building envelope and in the drainage.

SKETCH REVIEW - July 26, 2021

Project Review

A. Architecture Comments

6. Roof pitches are 8:12 and 4:12 for roof forms. There are some areas of flat roof where the material is not indicated. The proposed roofing material (as indicated on the roof plan) is synthetic shakes on the 8:12 forms and standing seam copper on the 4:12 pitches. It is noted that the materials list provided indicates terne metal roofing versus copper. The roof pitches and materials are consistent with the Design Guidelines. The copper will need to be treated to ensure that the material is not reflective. The flat roof material should be indicated. The Guidelines state:

3.4 ROOFS

Objective

- *Roofs must be comprised of relatively simple forms with clean connections*
- *To reflect the additive nature of the architecture of the American West, homes should be comprised of a combination of primary and secondary roof forms*

Roofs are the most prominent visual element of homes at the Cordillera Valley Club. This is particularly true due to the visibility of homesites from the golf course and the rolling terrain that characterizes much of the community. In order to ensure visual coherence throughout the Cordillera Valley Club, all roofs should be comprised of relatively simple forms and should utilize similar materials and colors that integrate the buildings with the site and surrounding area.

Design Considerations

- Large continuous roof planes must be avoided. Smaller segmented roof forms consistent with the additive form of the home, or a composition of primary and secondary roof forms shall be used.
- Roof forms shall be limited to low-pitched gable, shed, or double-pitch roofs in the range of 4:12 to 8:12. 3:12 roofs may be allowed, as well as other roof forms, such as curved roofs or flat roofs, at the discretion of the DRB.
- Deep roof overhangs are encouraged in order to provide shade, particularly at southern elevations, and add interest to building elevations. Primary roof overhangs shall be a minimum of two feet (2'), where as secondary roof overhangs may be eighteen inches (18") minimum upon discretion of the DRB.

Roof Materials

- Appropriate materials for primary roof forms include cedar shakes (treated class B rating), synthetic fire-rated shakes, and slate. Roof materials should be predominantly grey or brown in color and be compatible with the colors of the main residence. Homesites with a high wildfire rating must use class A rated roofing materials.
- In addition to the materials listed above, appropriate materials for secondary roofs also include corten steel, terne metal and copper. The limited use of these materials is appropriate because of their natural patina. Owners may be required to treat corten steel, terne metal and copper roofs in order to accelerate the natural weathering process, if at the discretion of the DRB the natural weathering process has not adequately dulled the finish of the roof within six months after installation.

- Flashing and gutter materials must be consistent with the metal roof systems.
- Prohibited roof materials include:
 - ▶ Glazed tiles
 - ▶ Ceramic tiles
 - ▶ Asphalt or fiberglass shingles

7. The proposed exterior materials are vertical wood siding indicated as “vintage woods rustic cedar siding in vintage grey), stone, and cold rolled metal siding. The DRB has approved the use of metal siding materials in limited applications and generally as an accent material. The DRB should provide input on the proposed exterior materials, especially the metal material and its patina or rust qualities. The Design Guidelines state:

- Exterior materials should be indigenous to the area and in color tones that relate to the natural colors of the site.
- Exterior materials must reflect the inherent structural qualities of the materials

The type and composition of exterior wall materials should convey an authentic expression of structural integrity. Stone, as a base or a form, should be applied to reflect the structural massing of the building. The design, materials, and color of exterior walls should relate to the natural colors and textures of the site in order to reinforce the sense that the building fits within its surroundings.

Walls should be comprised of no more than three materials consistent with the specific guidelines outlined below, and should be complimentary in coloring. Unfinished foundation walls are prohibited.

Wood or metal shall not be allowed to come to grade if it is not at a hard surface. Copper may be used at grade with the approval of the DRB if detailed to function to protect the wall surface as stone would. This exception is meant to be used sparingly throughout the home.

8. The Design Guidelines recommend that homes have an expression of structure (deep overhangs, rafter tails and beams, etc.). Staff is concerned that the proposed plans do not appear to have an expression of structure, though it could be that the plans have to been developed to that level of detail at this point. Staff recommends the DRB provide input on the expression of structure. The Design Guidelines state:

3.7 ARCHITECTURAL DETAILING AND SIGNATURE STATEMENTS

Objective

- *Every home shall be unique in character and expression*

Architectural details are an important element of the Cordillera Valley Club design style and also add individuality and creative expression to a home. In all cases, the origin and interpretation of architectural details should be consistent throughout a home.

The use of the following architectural details is encouraged:

- Deep overhangs, as permitted by the Eagle County Wildfire Regulations.

- Consistent patterns of exposed structure and structural detailing, such as rafter tails, lookout beams and bracing.
- Carved timbers and hand-crafted timber joinery.
- Steel detailing, metal banding.
- Lintels and sills constructed of stone or timbers.
- Hand-crafted doors and decorative hardware on windows and doors.
- Main entry doors and garage doors designed to compliment the home.
- Deep set reveals in stone walls.
- Planter boxes.
- Decorative handrails and balcony railings.
- Decorative exterior light fixtures.
- Operable window shutters (sized in proportion to windows).

In addition to the architectural details described above, the following signature elements shall be incorporated into the design of all buildings and homes at the Cordillera Valley Club. The use of these elements is intended to express the Cordillera Valley Club design style and also to establish architectural features common to all buildings in the community.

Signature Elements

- All buildings shall include some expression of the structure of the roof. Examples for expressing roof structure include exposed rafter tails (required) and exposed beams at overhanging gable ends.
- Porches or other similar covered outdoor spaces shall be incorporated into the design of all homes. Entryways shall be inviting and welcoming. Porches and entryways shall provide an introduction to the home. Refer to Section 4.8 for additional information on terraces, porches and outdoor living spaces.
- Other signature elements include, but are not limited to, shutters, window boxes, and steel beam details.

9. For Final Plan Review, the applicant shall provide a height plan indicating the height of all roof ridges and eaves overlaid on a grading plan showing both existing and finished grade. The maximum height limitation is 35 ft.

3.3 BUILDING HEIGHT AND MASSING

Objectives

- Building forms must step with the existing natural contours of the site and be designed to nestle into existing terrain
- Building height and massing shall be designed in relationship to the characteristics of each site and in all cases buildings shall be designed with a low-profile, understated appearance

The building height limit for each homesite at the Cordillera Valley Club is thirty-five feet (35'). Maximum allowable building heights are not intended to imply that all portions of a building may be built to the maximum allowable height limit.

Design Considerations

- Building massing should emphasize horizontal scale and form. Building scale should be reinforced by varied building heights, off-sets in building elevations, a welcoming entryway, porches, covered outdoor spaces, well proportioned fenestration, decks and balconies, and architectural detailing.
- A mix of one and two story building masses is required. Three story masses are discouraged, however, when approved, must be broken down in scale and have either a one story element or lower roof attached.
- Buildings should be designed as a composition of additive forms; large structures and continuous unbroken building forms must be avoided.
- Homes should be designed as a composition of smaller building forms clustered around outdoor spaces such as courtyards, porches, or verandas.

Building Height

- Building height is calculated as follows: A building's height can be up to thirty-five feet (35'). This height shall be measured vertically from any high point along the roof ridge lines, directly down to a point at either existing grade or finish grade, whichever is more restrictive. With DRB approval, small dormers and chimneys may be exceptions.

10. For Final Plan Review, the applicant shall submit the stone calculation. Additionally, the stone cannot have the appearance of a veneer. The Design Guidelines state:

3.5.1 STONE

Design Considerations

- All buildings shall include stone. No less than 35% of exterior wall surfaces shall be stone. "Exterior wall surfaces" include all exterior walls of a building with the exception of chimneys. All chimneys must be stone, or a combination of stone and metal. The stone applied to the chimneys shall count toward satisfying the minimum 35% requirement.
- In order to visually tie a building to its site, stone should be used around the base of all buildings (with the exception of copper referred to in Section 3.5 above), however, care should be taken to avoid the appearance of a standard height "wainscot" surrounding the entire building.
- Appropriate stone materials include stone indigenous to the area, or stone indigenous to the Rocky Mountain region. River rock is not permitted.
- Stone should be laid in an informal horizontal coursing to emphasize structural appearance, with deep rake mortar joints. Stone should have an irregular rectangular shape and larger pieces should generally be laid below smaller pieces. Or, if stone is not laid horizontally, the appearance of the stone must meet the structural design character of the home.
- Other complementary stone may be used in order to add accent and variety to a building. Stone may be blended. Applications of complementary stone include lintels, band courses, wall caps or complementary stone integrated with the primary stone materials.
- Stone should appear structural, not as a veneer. Arches in stone must include voussoirs or similar structural detailing.

11. The Design Guidelines encourage the use of front porches as a welcoming entry in to the home. The entry to the proposed home is relatively understated. The DRB should provide the applicant with guidance on the front porch and entry to the home. The Design Guidelines state:

3.10 ENTRYWAYS/ PORCHES

Objectives

- *To provide a sense of entry to the home, entry porches are required*
- *All porches shall be an integral part of the overall design*

All homes shall have a welcoming, inviting entry designed to enhance the overall look of the structure and break up the verticality of its facades. The entry defines a place of gathering and receiving. The entry and front porch can be an opportunity to add individual creative expression, or a signature architectural statement, to the home.

Design Considerations

- Porches must be constructed of materials that complement the materials on the home.
- The use of expressed structure, such as exposed rafter tails, lookout beams and knee braces are required.
- Porch roofs should be different, in pitch and materials, from the adjacent roof planes.
- Wrap-around porches are encouraged.

B. Site Plan and Landscape Plan Comments

1. The applicant is requesting a Deviation from the Design Guidelines to allow for improvements located outside the building envelope, including a portion of the garage, patios, decks, hot tub, retaining walls, walkways and roof overhangs. In general staff believes the scope of the encroachments outside the building envelope far exceeds what is appropriate or consistent with the Design Guidelines. For example, there is a deck within 2 ft. of the adjacent property, with the roof overhang on the property line. The location of some of these proposed improvements may not be permitted by Eagle County. Staff recommends the DRB provide input on the scope of the proposed encroachments outside the building envelope. Due to the required notice of 30 days for a deviation request, the DRB shall make any formal approvals of the deviation request at the Final Plan review. The Design Guidelines state:

2.2 BUILDING ENVELOPE

Objectives

- *Identify the portion of each site that will allow the design of the home to maximize views and solar orientation*
- *Establish separation between homes*
- *Preserve existing vegetation and optimize other site attributes*

A building envelope has been established for every residential homesite at the Cordillera Valley Club. The building envelope is indicated on the final plats for the Cordillera Valley Club.

Building envelopes were determined based on overall planning and design objectives for the Cordillera Valley Club and the site specific characteristics of each homesite. All habitable space must be located entirely within the area defined by the building envelope. As such, the building envelope represents a very important consideration in the design of a home. Owners are encouraged to meet with the DRB early in the design process in order to understand their site and building envelope,

including improvements allowed to be built outside the building envelope, and improvements that must be built inside the building envelope.

While owners are strongly encouraged to design their homes and related improvements to comply with the building envelope on their lot, the Cordillera Valley Club Planned Unit Development Guide outlines procedures for allowing certain elements of a building to encroach outside of the envelope and for modifying building envelope locations.

Allowed:

- All portions of a home, including all accessory buildings, garages, decks, patios, terraces, recreational equipment, artwork, swimming pools, hot tubs/ jacuzzis, retaining walls, site walls and fences, and similar features shall be located within the building envelope.

Exceptions:

- Driveway access (including grading and retaining walls necessary for site access) and landscape improvements may be located outside of the building envelope subject to approval by the DRB.
- At their discretion, the DRB may approve non-habitable space such as roof overhangs, balconies, porches, patios, garages, and service areas that are located outside the building envelope provided such proposals are found by the DRB to be in accordance with the process for minor encroachments outside the building envelope.
- Unless necessary for driveway access, the removal of existing vegetation outside of the building envelope is prohibited without specific approval from the DRB and may result in fines up to the full amount of the Compliance Deposit or other fine imposed by the DRB or the Executive Board of the Property Owner's Association. Special approval will be given in cases where the Eagle County Wildfire Regulations encourage or require the owner to remove existing vegetation and/or trees outside of the building envelope.

The DRB must make the following findings to approve a deviation:

- i) The proposed encroachment does not affect views from surrounding homesites;
 - j) The proposed encroachment does not substantially reduce the distance between homesites on lots;
 - k) The proposed encroachment allows for a more sensitive design solution by minimizing site grading, the loss of mature vegetation, and/or other considerations, and
 - l) The proposed encroachment will allow for a design that is consistent with the overall design philosophy and design style for the Cordillera Valley Club.
2. There is an existing drainage that is located outside the building envelope. The applicant has proposed improvements to the drainage. Staff recommends that this existing drainage be maintained in its current natural state and that the limits of disturbance protect the drainage. If the drainage is to be modified in anyway, it is recommended that the site and grading plan be designed and stamped by a licensed civil engineer to ensure that the improvements do not impact other properties or rights-of-way. The Design Guidelines state:

2.4 GRADING AND DRAINAGE

Objectives

- *Site grading shall be limited to no more than what is necessary to integrate the home and exterior living spaces with the site features and topography*
- *Site grading shall be limited to what is necessary to accommodate the development of a home and site access.*
- *A drainage plan must direct all water on the site to the existing drainage channels in the Cordillera Valley Club*

The DRB or DRB Administrator may require a licensed civil engineer to review and stamp the grading, drainage and soil stabilization plans depending on the scope of the project. Drainage must be controlled during construction (RE: Section 5.7- Erosion Control and Revegetation). In regard to drainage during the construction process, Eagle County Regulations must be followed. The Cordillera Valley Club has unique soil conditions and native drainage channels from the native landscape that has resulted in severe flooding and erosion issues.

Grading Considerations

- Excessive re-contouring of a site, or over lot grading, is not permitted.
- Grading must be confined to within the building envelope and driveway unless otherwise approved by the DRB.
- Grading shall be designed to blend with the natural contours of the site by feathering cuts and fills into existing terrain.
- In order to minimize impacts on existing vegetation and excessive site disturbance, the use of retaining walls is encouraged in lieu of re-grading large areas of site. At their discretion, the DRB may require the use of retaining walls in lieu of grading in order to preserve significant vegetation or site characteristics (RE: Section 4 - Landscape Design)
- When cut and fill slopes are necessary, they should be as steep as possible to minimize site disturbance while still allowing for revegetation. Generally, a 2:1 slope is the maximum slope allowed in order to ensure adequate revegetation. If soil characteristics are appropriate, steeper slopes may be approved by the DRB with the additional of boulder retaining areas for planting.
- Grading, landscaping, or site improvements shall not interfere with the functional aspect of natural drainage courses and easements.

3. The driveway grade is indicated at 10%. The applicant shall demonstrate driveway compliance with the Design Guidelines, which state:

2.5 DRIVEWAYS

Objective

- *Limit the impervious ground cover to an area necessary for the needs of adequate access and parking*

Slope and Site Considerations

- In order to ensure safe and convenient access, recommended driveway grades are 3-4% for the first twenty feet (20') of the driveway and no more than 10% grade on other portions of the driveway. Between 10-12% (the maximum), the DRB will require snowmelt and guard rails.
- Driveways should be designed to align with roadways at no less than a 75 degree angle.
- With the exception of parking spaces immediately adjacent to garages, and as may be necessary for emergency vehicle access, the width of paved driveway surfaces shall not exceed twelve feet (12').

4. For Final Plan Review, the landscape plan shall provide the calculation of permanent irrigation, which is limited to 5,000 sq. ft. The plan appears to comply with this limitation.
5. For Final Plan Review, the heights of all retaining walls shall be indicated on the landscape plan.

C. Adjacent Neighbor Comments

Public notice to adjacent properties was provided on July 13, 2021. As of the date of this memo, staff has received the following comments:

From Tom Marcin at 39 Pinnacle Pt:

Allison:

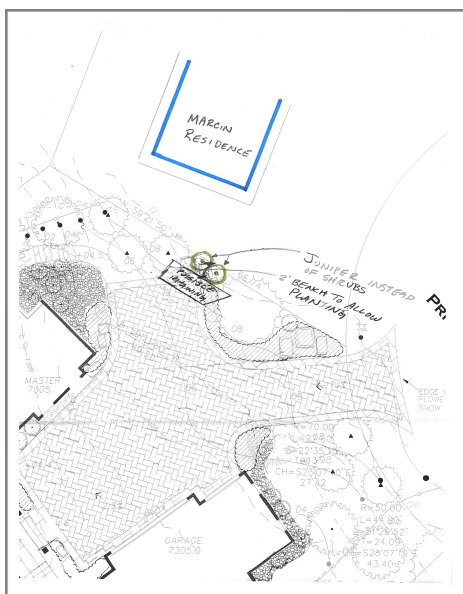
Attached is a diagram that illustrates my concerns. I am respectfully asking that a 2' planting buffer be installed between the common property line. In that buffer 2 Junipers be planted rather than 2 shrubs as specified on the Dennis Anderson LA plan. There is an ornamental juniper on my property along this property line that is aesthetically pleasing, very thick, not too tall, maybe that planting could be matched. It appears that a 4' wall will be required to facilitate the parking/turnaround. I am requesting the 2 feet buffer be from the back of the wall. The trees can be very close to on the property line as shown on the LA plan, overhanging into my property, no problem

I also ask that no A/C compressor units be placed along the NE facing wall (master bedroom wing), the wall that faces my home.

Are there color boards available for Review?

Please confirm you received my comments

Thanks
Tom



D. Staff Recommendation

Staff is concerned about the extent of improvements located outside the building envelope. With modifications to the plan to minimize the encroachments, Staff recommends approval of the Sketch Plan for the Scrivens Residence, subject to the following conditions:

1. The applicant shall address the comments provided in this staff memorandum and any DRB comments prior to a Final Plan Review submittal.

E. DRB Deliberation

DRB members Michael Current, Steve McKeever, and Bobby Ladd were present via the Zoom Meeting. Jeff Townsend was absent.

The applicants Barbara Scrivens, owner, and Brian Judge, Architect, were present. Tom Marcin, adjacent property owner was present.

Michael stated his concerns about the amount of improvements outside the building envelope, including columns and roof that are on the property line.

Bobby said he was relatively ok with the hot tub and sodded lawn areas, but not comfortable with the deck, roof, railings. That level of encroachment seemed excessive.

Steve stated that there is a need to pull so much into the envelope, it's just difficult to talk about the architecture.

Tom Marcin asked about the parking space adjacent to his property line. He wanted to have some buffer, including juniper.

Brian indicated it was a tough lot, due to the dry drainage and the shape of the envelope. It is a smaller house. They will be sensitive to Tom's property. There's no water in the ditch, it is no big deal. They will use classic CVC materials and protect the trees.

Barbara stated that she is very traditional and it will look clean.

Tom stated that it is a pretty dry ditch.

Bobby stated that they have put a square peg in a round hole. The envelope is being completely disregarded, and changes could significantly change the design. The south corner needs to be changed as it is 2 stories plus a roof of outdoor living. They have not approved this level of deviation in the recent past.

Brian asked if there was some solution.

Steve stated that he wanted to see another sketch plan. The other members of DRB agreed.

Michael stated the the designs are too preliminary, the entry court needed work, and there is little appeal at the entry.

Motion to Table.

Motion: Bobby Ladd

Second: Michael Current

Vote: 3-0 (Jeff Townsend absent.)

Cordillera Valley Club DRB Administrator
Via email
Application to Changes to Approved Plans

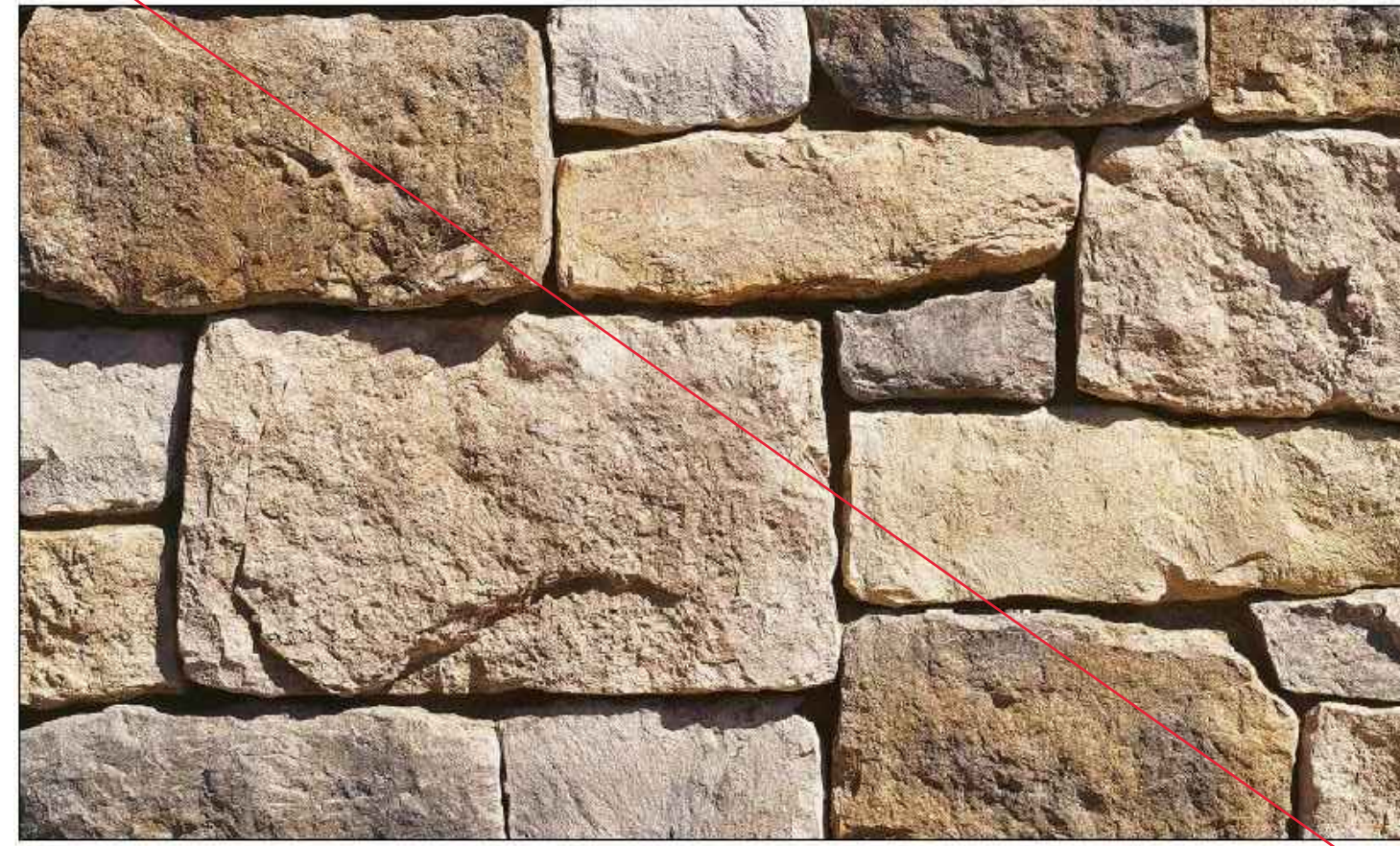
November 6, 2023

Re: 42 Pinnacle Point

The following is a:

- requested change to the majority of prior approved Exterior Materials,
- an exterior mockup and material installation review request
- a requested change to Fixture A (Exterior Sconce).
- added Fixture F in one location (quantity 2)
- exterior trim detail change
- exterior header in stone change
- front planter change to stone
- door and window swap at mud room
- roof pitch change at garage to lower the roof.
- mechanical cabinet on elevation added to hide meters.
- stone veneer added at entry and master closet.
- Architect graphic error in siding shown on master-2 locations as noted
- Chimney and chimney cap change to metal
- Review of previously approved window changes and columns at entry and rear deck

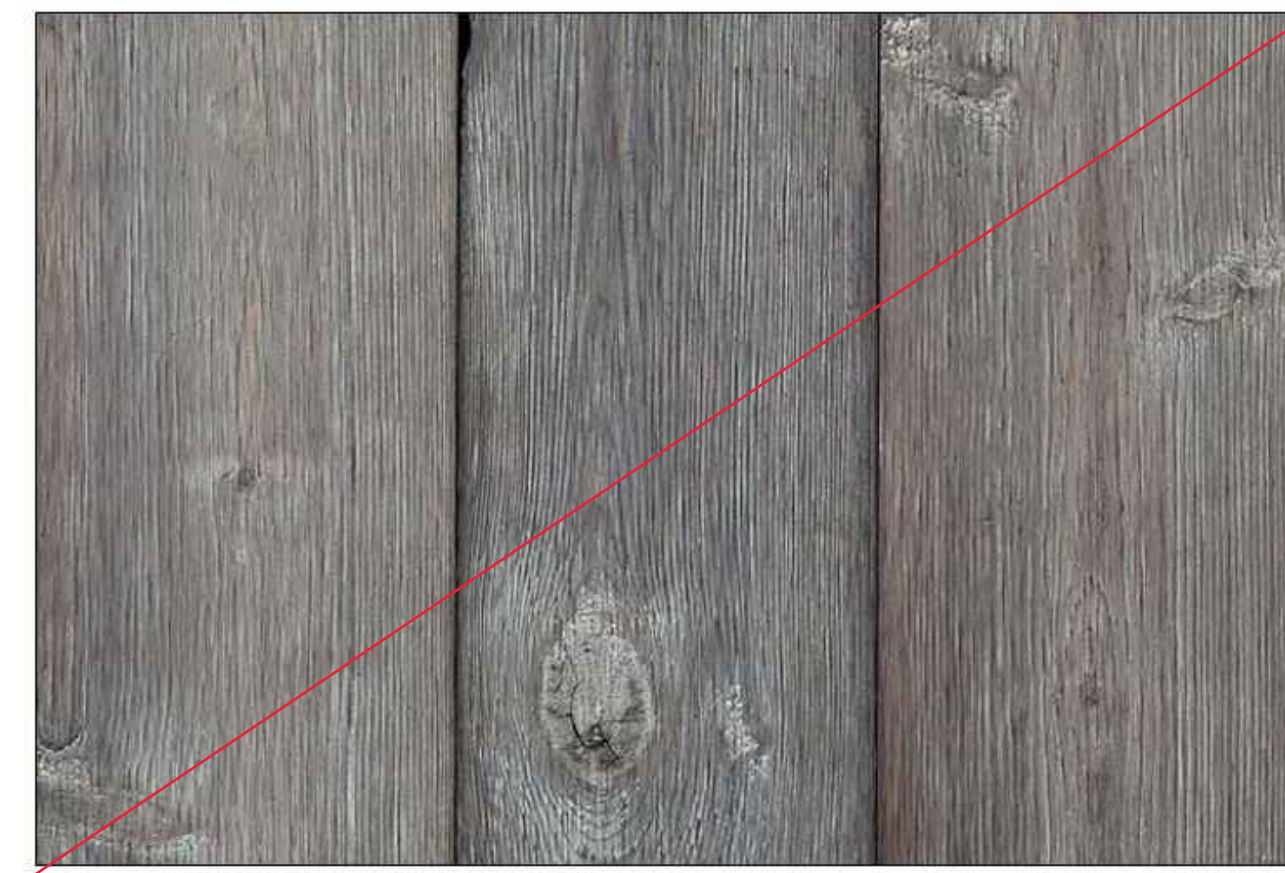
SHEET
REPLACED WITH
PDF PACKAGE
OF FINISHES



1 EL DORADO ROUGH CUT STONE VENEER - AUTUMN LEAF



2 HORIZONTAL RUSTIC WOOD SIDING



3 VINTAGE WOODS RUSTIC CEDAR SIDING - VINTAGE GREY



4 WEATHERED FASCIA AND STONE



5 COLD ROLLED STEEL



6 PRE-WEATHERED COPPER ROOF

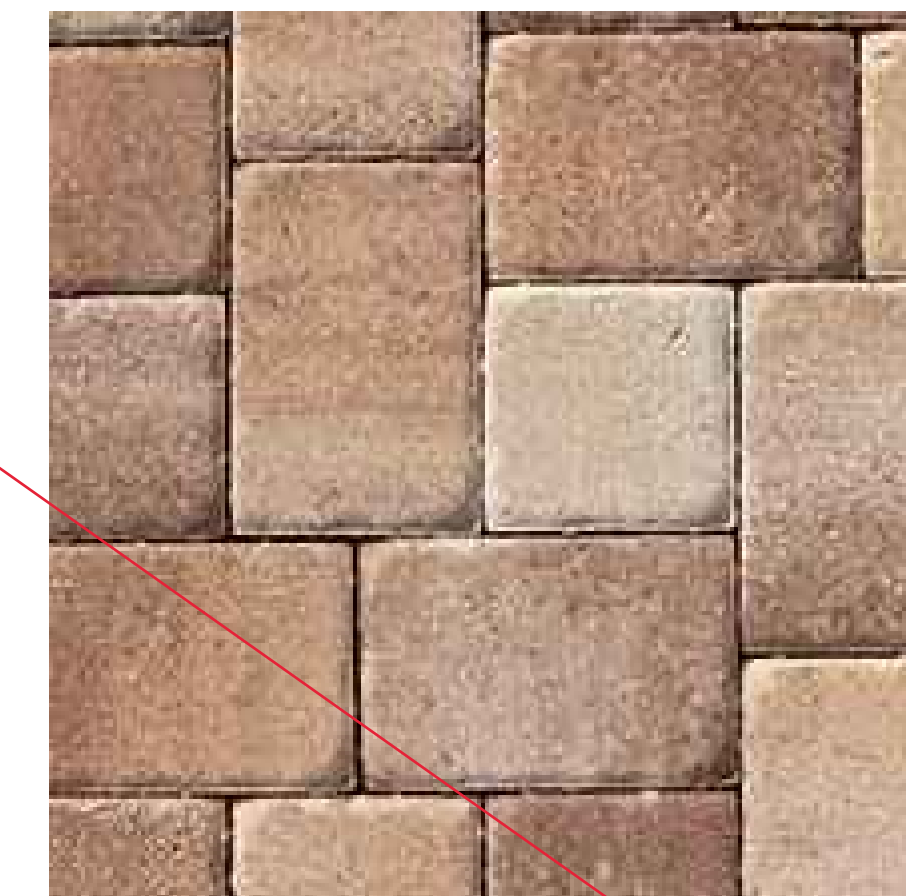


7 DAVINCI SELECT SHAKE - BLACK OAK

ROOF AS
APPROVED
REMAINS



8 COLORADO BROWN BOULDERS



9 NEWCASTLE ARAGON THREE PIECE PAVER

J
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ARCHITECTS + PLANNERS

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Seal
STATE OF COLORADO
BRIAN THOMAS
2019
LICENSED ARCHITECT

42 PINNACLE PT, LOT 12
CORDILLERA VALLEY CLUB
EDWARDS, CO

Revisions:
▲
▲
▲

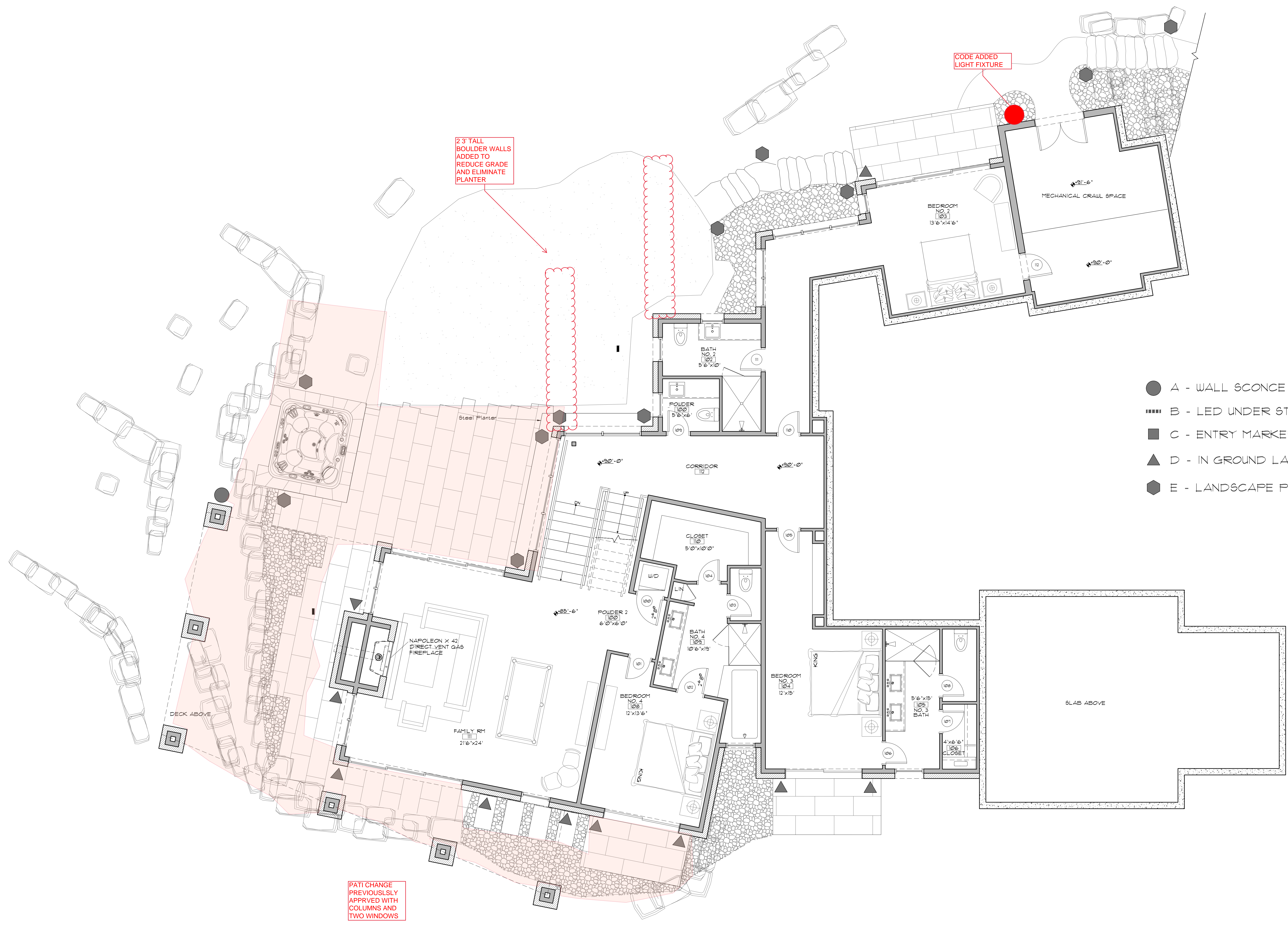
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Issue Dates:
Technical Review and Permit
04.13.2022

Sheet Title:
**Exterior
Elevation
Materials**

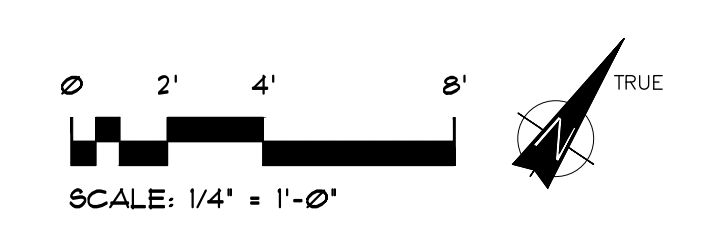
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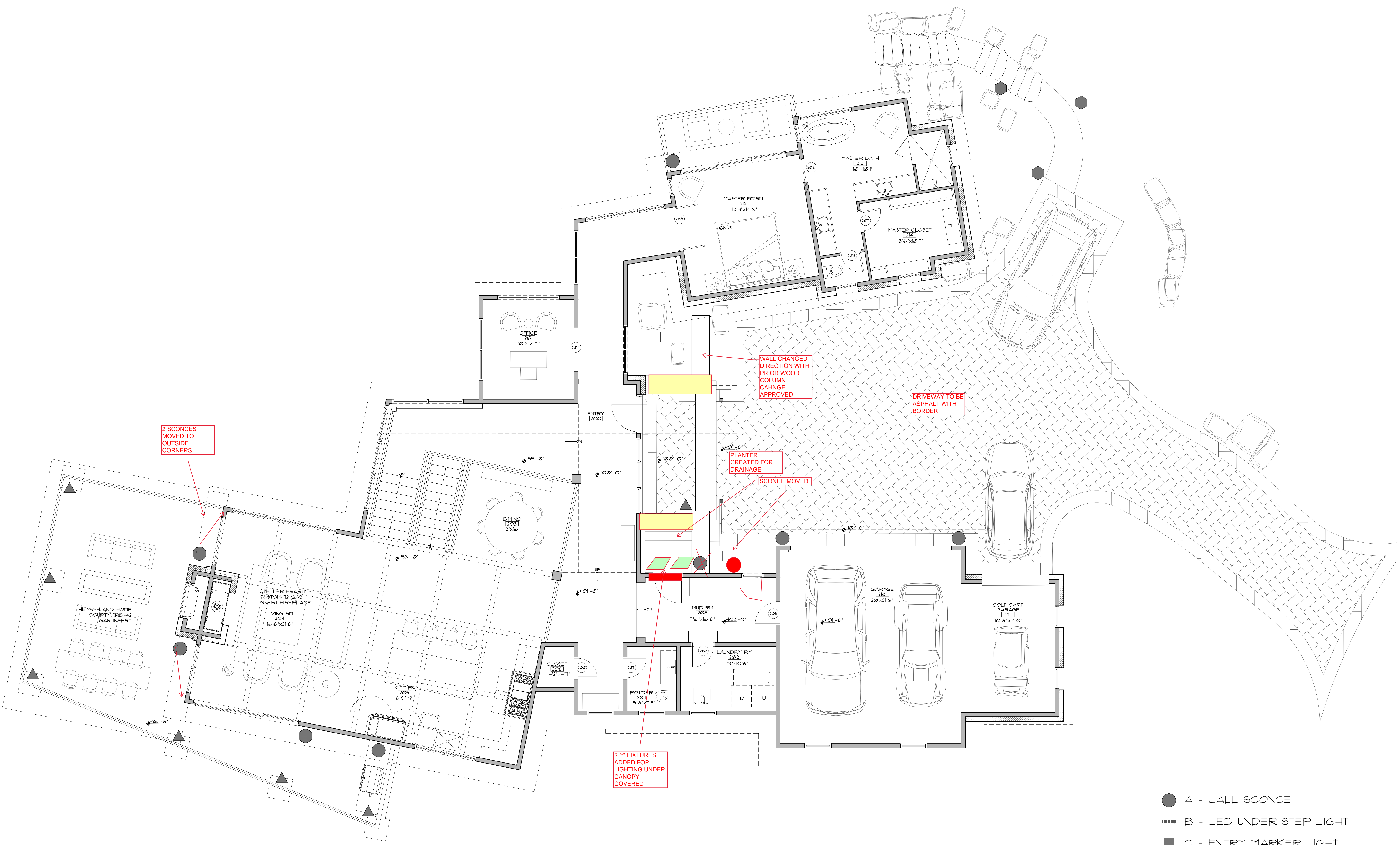
Sheet No:
D3.0
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- A - WALL SCONCE
- ▤ B - LED UNDER STEP LIGHT
- C - ENTRY MARKER LIGHT
- ▲ D - IN GROUND LAMP
- ⬢ E - LANDSCAPE PATH LIGHT

1 LOWER LEVEL FLOOR PLAN
1/4" = 1'-0"





2 SCONCES MOVED TO OUTSIDE CORNERS

WALL CHANGED DIRECTION WITH PRIOR WOOD COLUMN CHANGE APPROVED

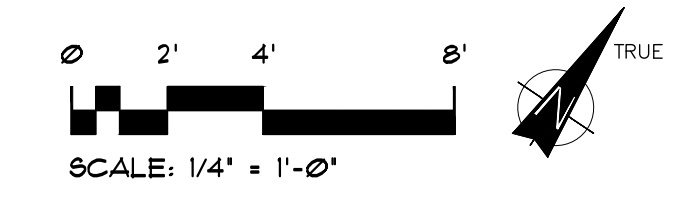
DRIVEWAY TO BE ASPHALT WITH BORDER

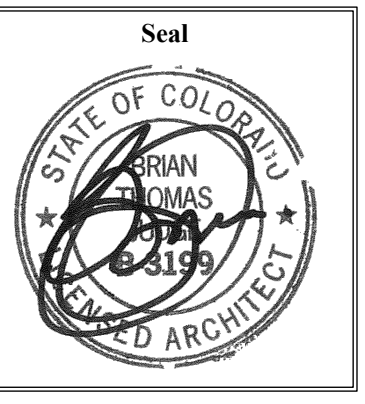
PLANTER CREATED FOR DRAINAGE
SCONCE MOVED

2 1" FIXTURES ADDED FOR LIGHTING UNDER CANOPY-COVERED

- A - WALL SCONCE
- B - LED UNDER STEP LIGHT
- ▲ C - ENTRY MARKER LIGHT
- ▲ D - IN GROUND LAMP
- ⬡ E - LANDSCAPE PATH LIGHT
- ▭ F - NEW FIXTURE UNDER CANOPY

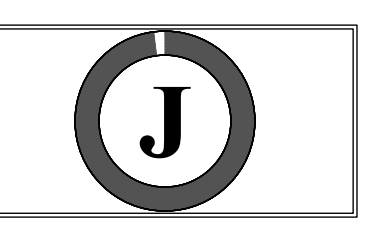
1 MAIN LEVEL FLOOR PLAN
1/4" = 1'-0"





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CORDILLERA VALLEY CLUB
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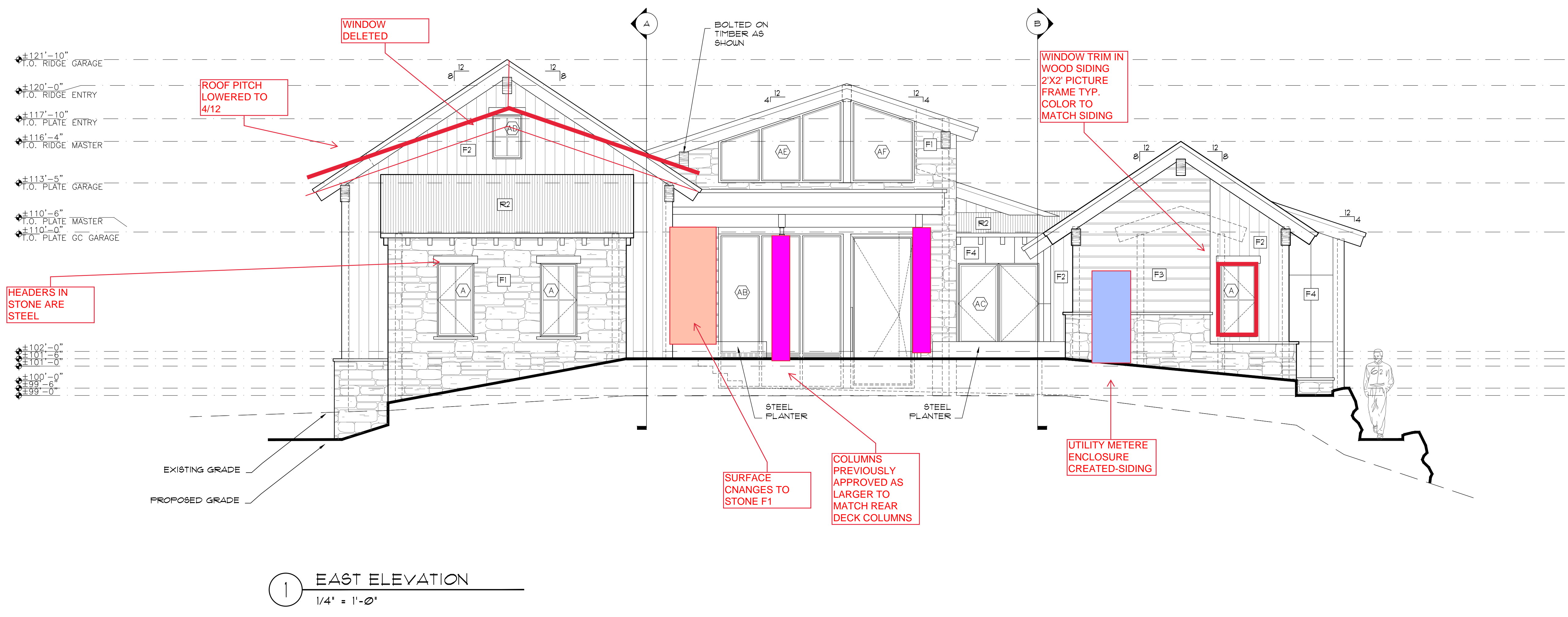
Revisions:



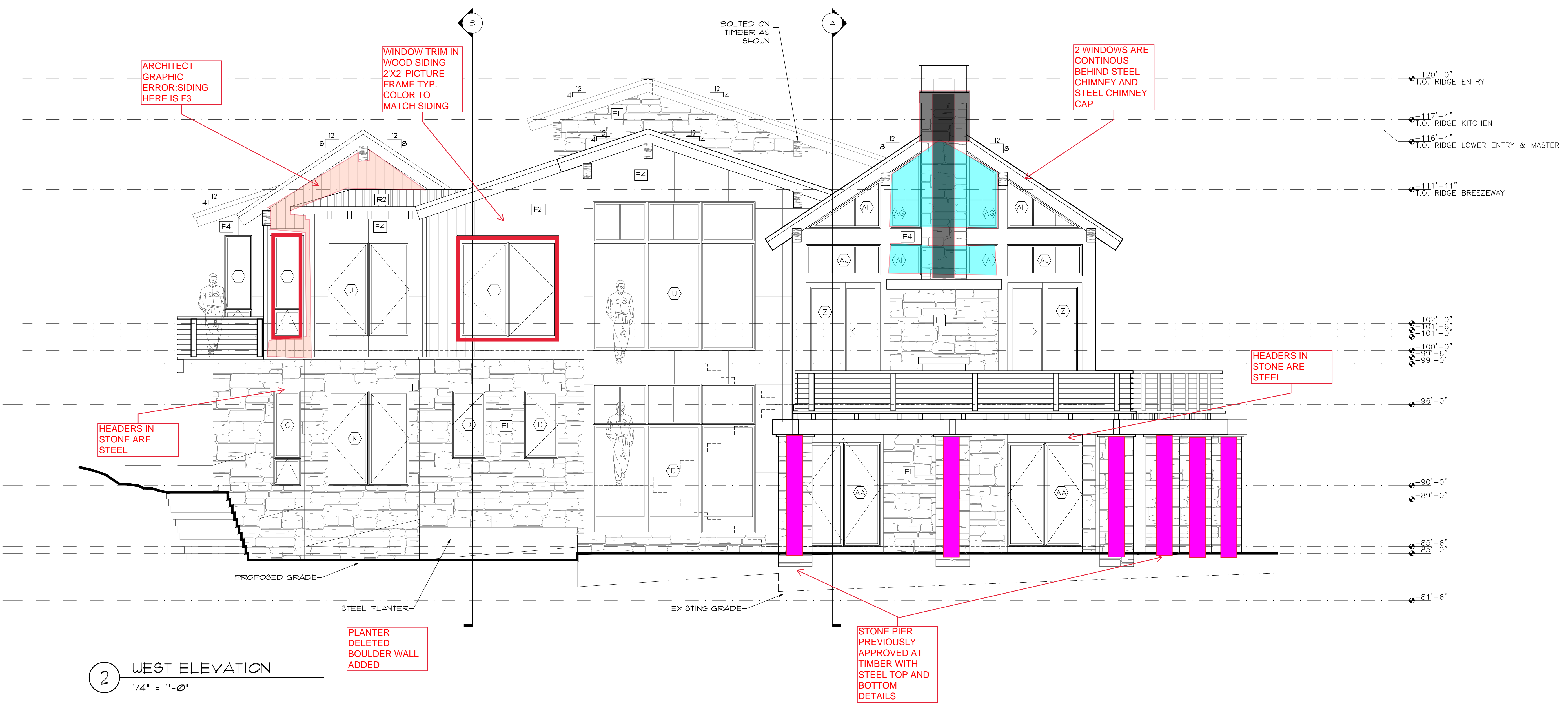
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Sheet Title:
East & West Elevations

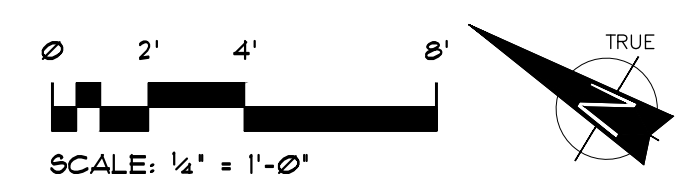
Project No:
Sheet No:
A3.1

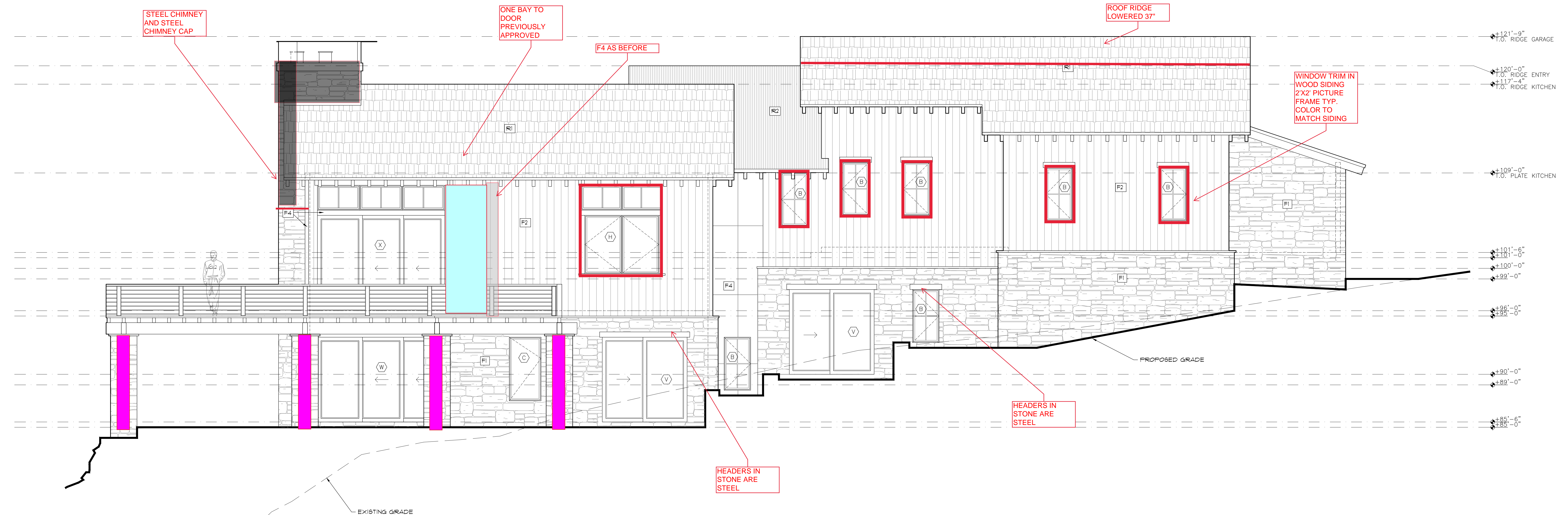


1 EAST ELEVATION
1/4" = 1'-0"

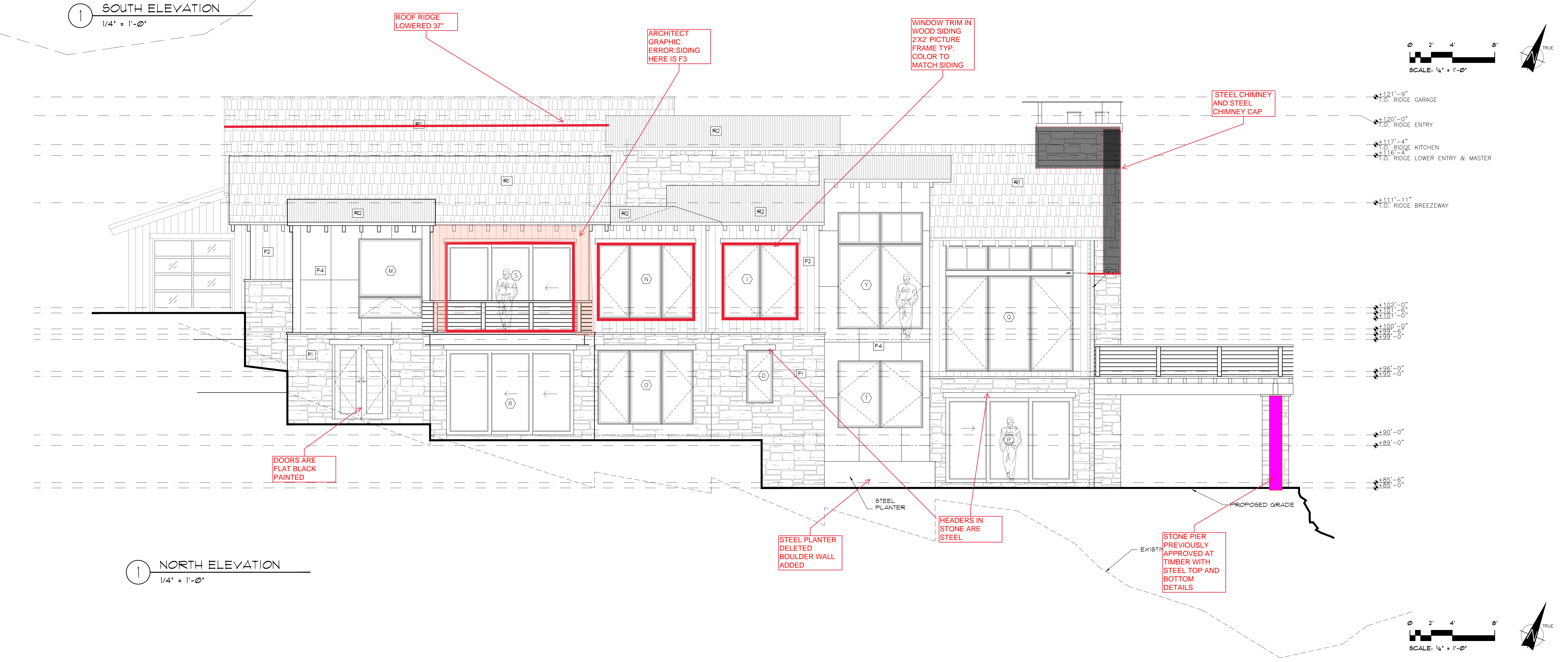


2 WEST ELEVATION
1/4" = 1'-0"

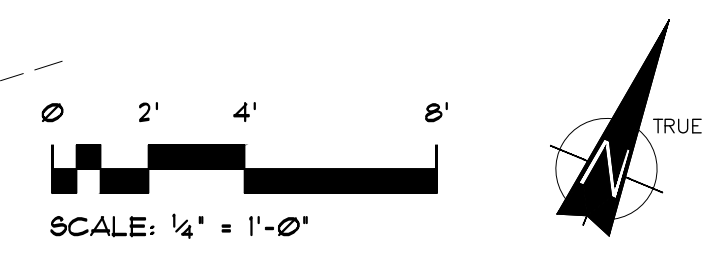
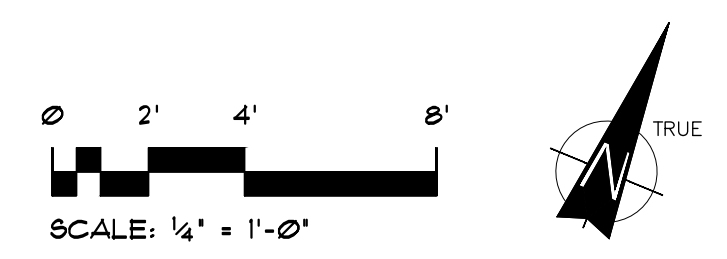


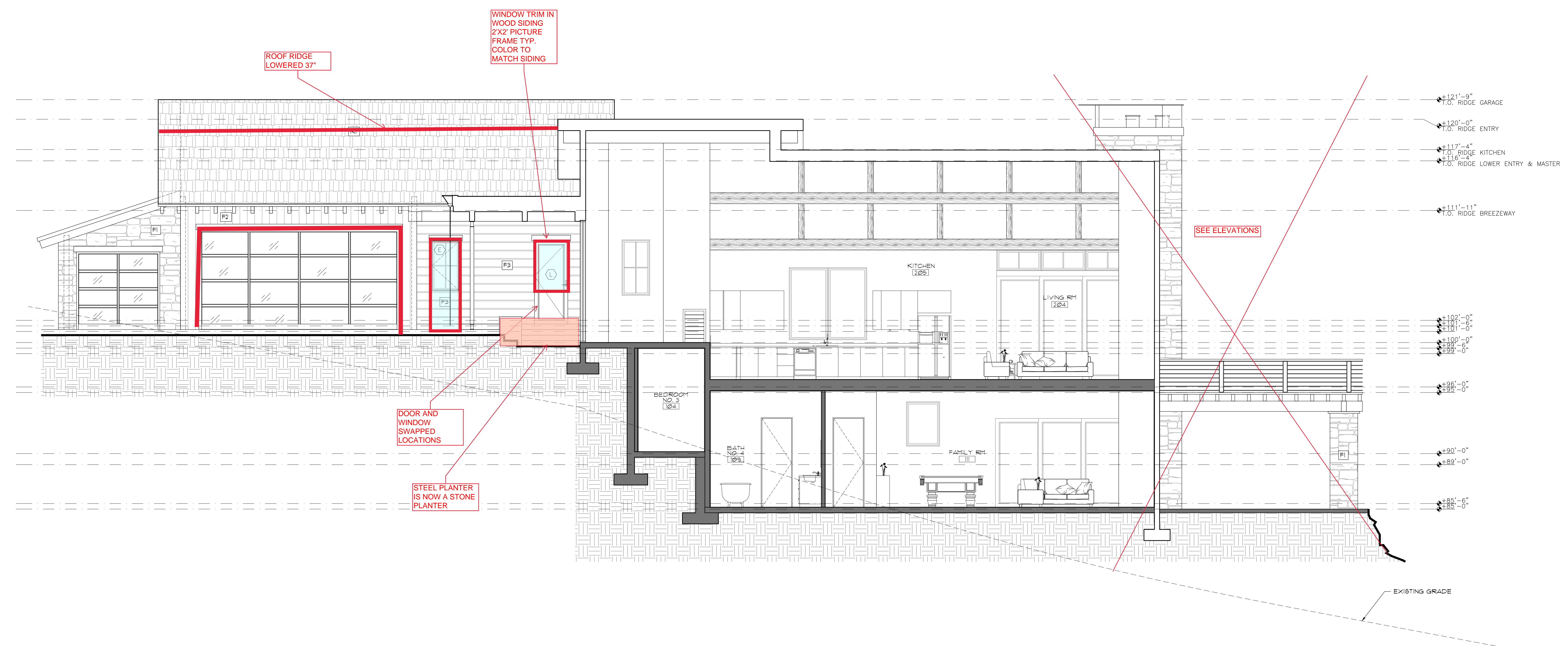


1 SOUTH ELEVATION
1/4" = 1'-0"

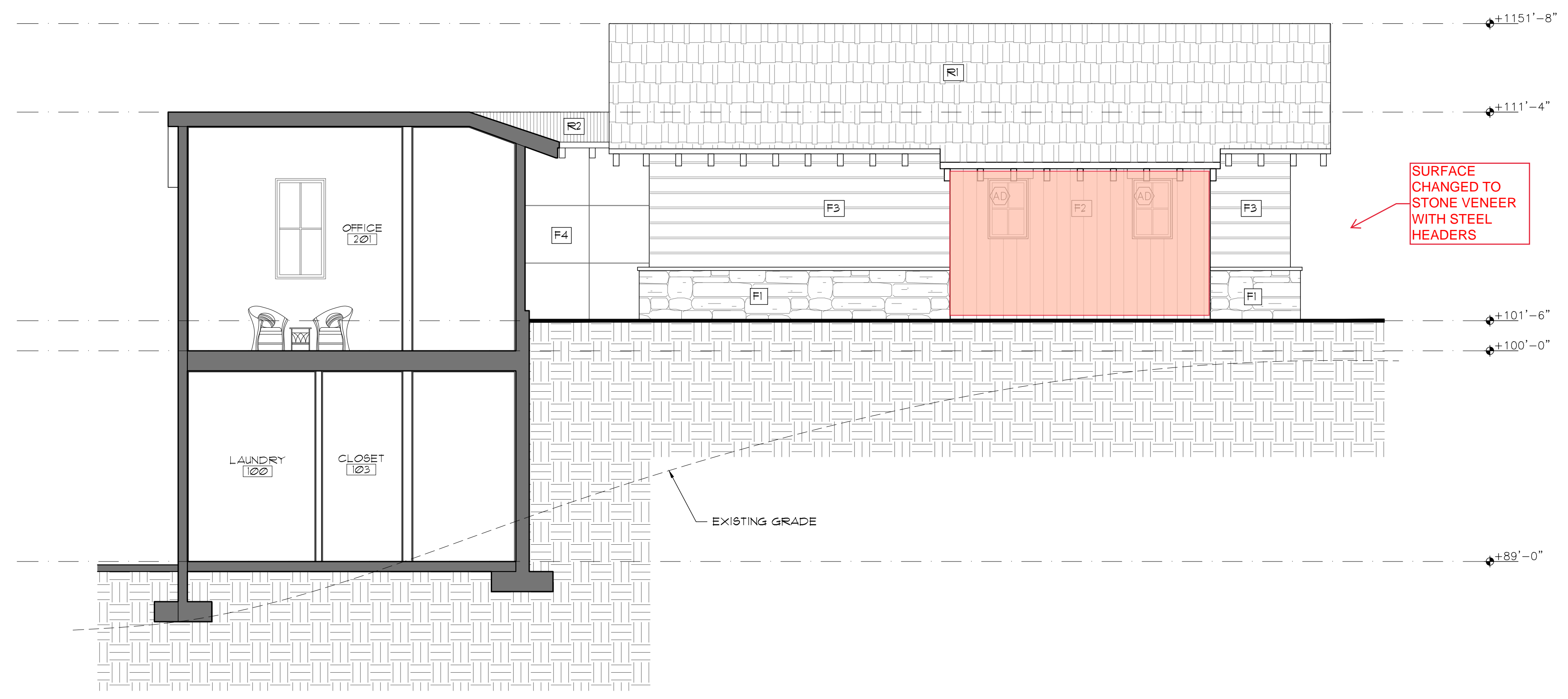
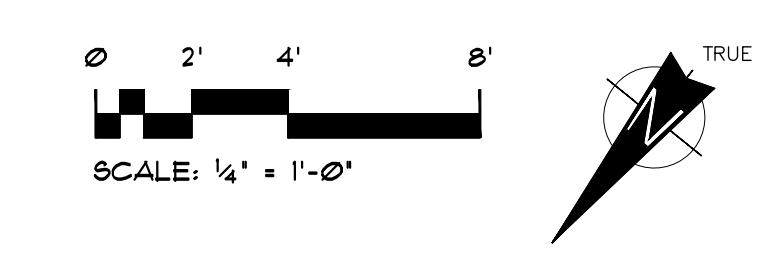


1 NORTH ELEVATION
1/4" = 1'-0"

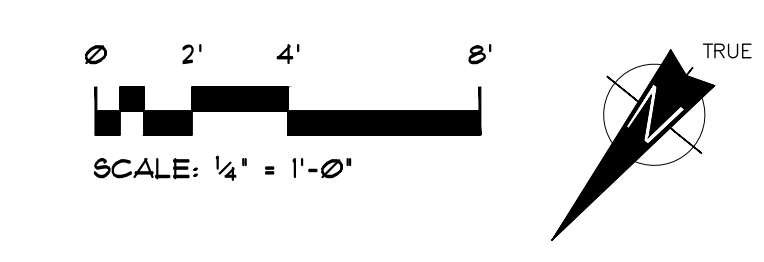




1 NORTH ELEVATION & SITE SECTION 1
1/4" = 1'-0"



2 SOUTH ELEVATION & SITE SECTION
1/4" = 1'-0"



Mockup and Exterior Materials resubmittal:

F-1 Stone Veneer: Dolomite Gray Chopped



F-2 Vertical Siding: Vertical Douglas Fur 1x, with pencil reveal
Custom Color Sherwin Williams Transparent Stain Grey.



F-3 Horizontal Siding: 2x Channel rustic Douglas Fur with 3/4" channel. Custom Color Sherwin Williams Transparent Stain Grey.



F-4 Break Metal Siding: Black Break Metal paneling shown with transition to stone sill. Panel reveals 3/4"



Fascia and Beam/Timber Trim Color

Sherwin Williams Semi-transparent exterior Stain. Iron Ore. (Dark Color)

Siding F-1 and F-2 and Associated Window Trim and Corner Board Color, and Soffit Color:

Custom Color Sherwin Williams Transparent Stain Grey. (Light Color)



Headers in stone: Steel with stone sills to match veneers.



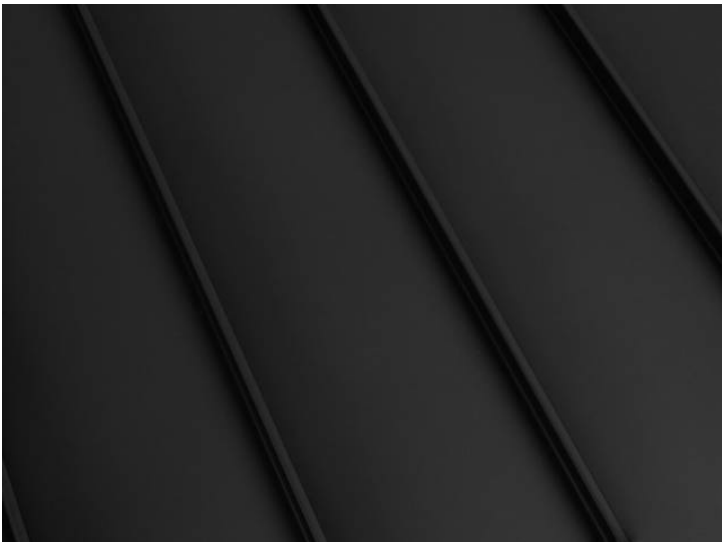
Window trim in wood (f-1 and F-2): Doug Fur to match siding 2" x 2" picture frame



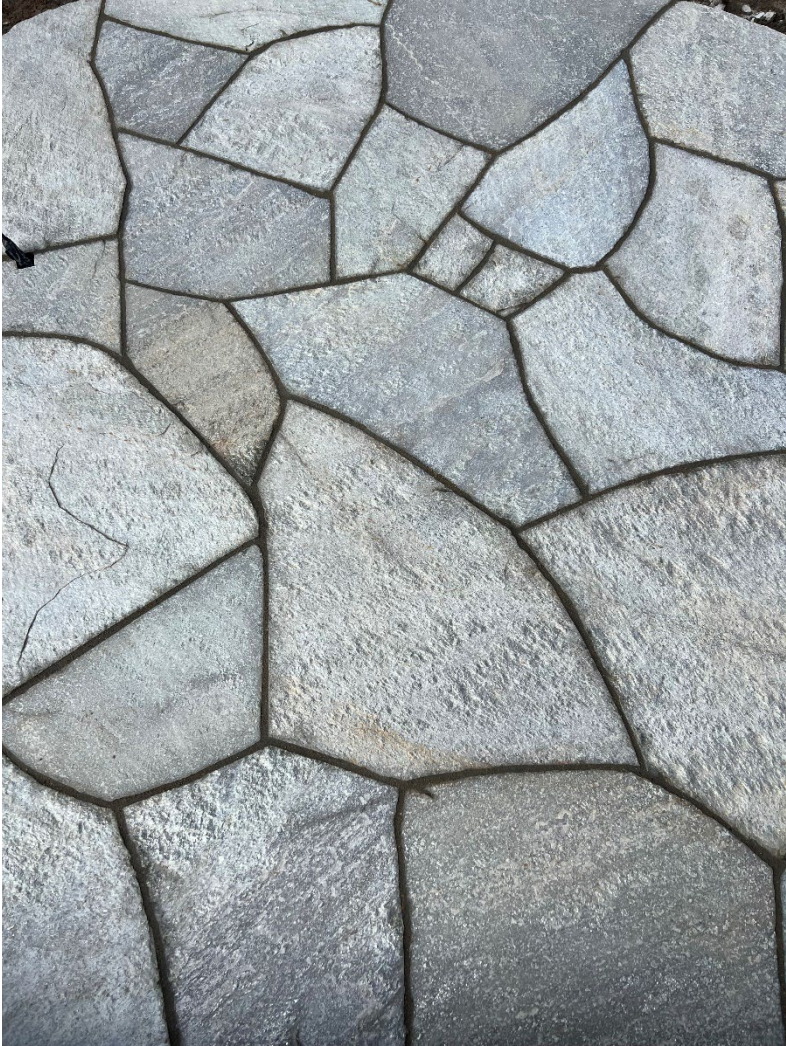
Site Boulders: Grey Granite Rock. Various sizes.



Roof: Remains as approved Davinci Select Shake Black Oak and Cold Rolled Kyner Black Metal standing Seams.



Stone patio and deck material: *not previously submitted*, Grey Quartzite-random pattern.



Current Mockup pictures:





EXTRERIOR LIGHTING CHANGE:

The previously selected light Fixture A would be replaced with the following Dark Skies fixture.

Fixture A replaced as shown.

Fixture F added one location (22 fixtures under entry porch)

Fixture A as replaced



Project:

Location:

Fixture Type:

Catalog Number:

AVAILABLE FINISHES:



Cambridge

WS-W24211

PRODUCT DESCRIPTION

A classic sensibility with timeless style. This exterior LED wall luminaire beckons like a glowing lantern to welcome guests to your fine home. Available in three sizes.

FEATURES

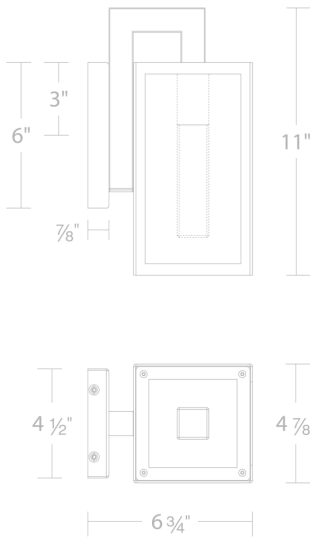
- Driver concealed within the canopy
- Diffuser rotates up to 45 degrees for a modern twist to the classic lantern design
- Clear glass panels are framed with an etched border
- IDA Dark Sky compliant

SPECIFICATIONS

Rated Life	50000 Hours
Standards	ETL, cETL,Wet Location Listed,IP65,Dark Sky Friendly,ADA
Input	120/277V,50/60Hz
Dimming	ELV: 100-5%,TRIAC: 100-10%
Mounting	Can be mounted on wall vertically or upside down
Color Temp	3000K
CRI	90
Construction	Extruded aluminum body and etched acrylic diffuser framed in clear glass panels etched along the border

REPLACEMENT PARTS

- RPL-GLA-24211 - Replacement Glass
- RPL-DIF-24211 - Replacement Diffuser

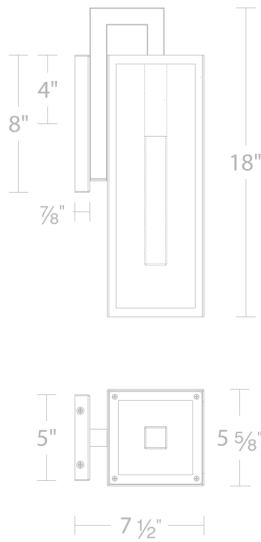


WS-W24211

Model & Size	Color Temp	Finish	LED Watts	LED Lumens	Delivered Lumens
WS-W24211 11"	3000K	BK Black	7.6W	500	189

Example: **WS-W24211-BK**

For custom requests please contact customs@modernforms.com



WS-W24218

Project: _____

Location: _____

Fixture Type: _____

Catalog Number: _____

AVAILABLE FINISHES:



Cambridge

WS-W24218

PRODUCT DESCRIPTION

A classic sensibility with timeless style. This exterior LED wall luminaire beckons like a glowing lantern to welcome guests to your fine home. Available in three sizes.

FEATURES

- Driver concealed within the canopy
- Diffuser rotates up to 45 degrees for a modern twist to the classic lantern design
- Clear glass panels are framed with an etched border
- IDA Dark Sky compliant

SPECIFICATIONS

Rated Life	50000 Hours
Standards	ETL, cETL,Wet Location Listed,IP65,Dark Sky Friendly,ADA
Input	120/277V,50/60Hz
Dimming	ELV: 100-5%,TRIAC: 100-10%
Mounting	Can be mounted on wall vertically or upside down
Color Temp	3000K
CRI	90
Construction	Extruded aluminum body and etched acrylic diffuser framed in clear glass panels etched along the border

REPLACEMENT PARTS

- RPL-GLA-24218 - Replacement Glass
- RPL-DIF-24218 - Replacement Diffuser

Model & Size	Color Temp	Finish	LED Watts	LED Lumens	Delivered Lumens
WS-W24218 18"	3000K	BK Black	11.7W	800	378

Example: **WS-W24218-BK**

For custom requests please contact customs@modernforms.com



Project: _____

Location: _____

Fixture Type: _____

Catalog Number: _____

AVAILABLE FINISHES:



Cambridge

WS-W24225

PRODUCT DESCRIPTION

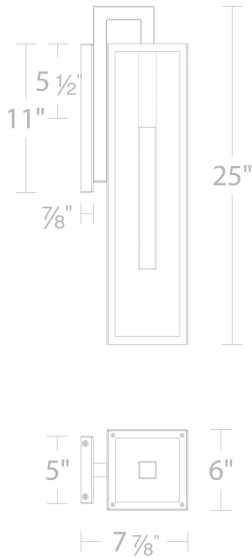
A classic sensibility with timeless style. This exterior LED wall luminaire beckons like a glowing lantern to welcome guests to your fine home. Available in three sizes.

FEATURES

- Driver concealed within the canopy
- Diffuser rotates up to 45 degrees for a modern twist to the classic lantern design
- Clear glass panels are framed with an etched border
- IDA Dark Sky compliant

SPECIFICATIONS

Rated Life	50000 Hours
Standards	ETL, cETL,Wet Location Listed,IP65,Dark Sky Friendly,ADA
Input	120/277V,50/60Hz
Dimming	ELV: 100-5%,TRIAC: 100-10%
Mounting	Can be mounted on wall vertically or upside down
Color Temp	3000K
CRI	90
Construction	Extruded aluminum body and etched acrylic diffuser framed in clear glass panels etched along the border



WS-W24222

REPLACEMENT PARTS

- RPL-GLA-24225 - Replacement Glass
- RPL-DIF-24225 - Replacement Diffuser

Model & Size	Color Temp	Finish	LED Watts	LED Lumens	Delivered Lumens
WS-W24225 25"	3000K	BK Black	16.8W	1200	335

Example: **WS-W24225-BK**

For custom requests please contact customs@modernforms.com

WAC LIGHTING

Cubix

Wall Mount 3000K

Fixture Type: _____

Catalog Number: _____

Project: _____

Location: _____

Model	Color Temp & CRI	Lumens	Finish
WS-W220208	30 3000K - 80	285	BK Black BZ Bronze WT White

Example: **WS-W220208-30-WT**

For custom requests please contact customs@wacighting.com

DESCRIPTION

Available in single and double directions, Cylinder is ideal for illuminating outdoor entrances and walkways.

FEATURES

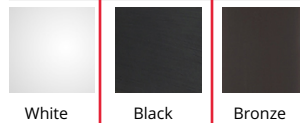
- Multiple LED array for uniform illumination
- WS-W220208 is one direction, WS-W220212 is an up & down light
- ACLED driverless technology
- 5 Year warranty

SPECIFICATIONS

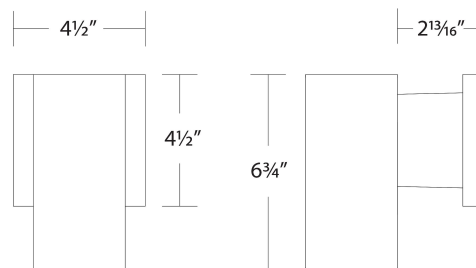
Color Temp:	3000K
Input:	120 VAC,50/60Hz
CRI:	80
Dimming:	ELV: 100-10%
Rated Life:	50000 Hours
Mounting:	Installs over a 3" or 4" Junction Box, Can be mounted on wall in all orientations
Standards:	ETL, cETL Wet Location Listed
Construction:	Die-cast aluminum



FINISHES:



LINE DRAWING:



WAC LIGHTING

Cubix

Wall Mount 3000K

Fixture Type: _____

Catalog Number: _____

Project: _____

Location: _____

Model	Color Temp & CRI	Lumens	Finish
WS-W220212	30 3000K - 80	765	BK Black BZ Bronze WT White

Example: **WS-W220212-30-WT**

For custom requests please contact customs@wacighting.com

DESCRIPTION

Available in single and double directions, Cylinder is ideal for illuminating outdoor entrances and walkways.

FEATURES

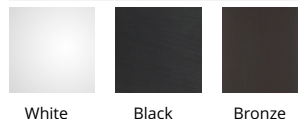
- Multiple LED array for uniform illumination
- WS-W220208 is one direction, WS-W220212 is an up & down light
- ACLED driverless technology
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SPECIFICATIONS

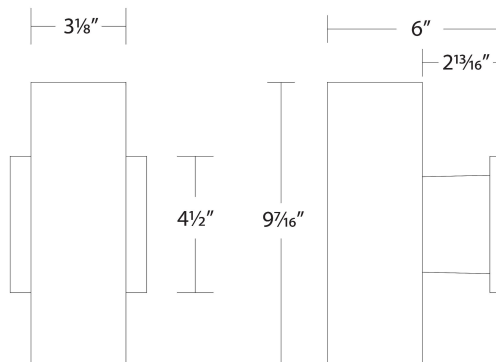
Color Temp:	3000K
Input:	120 VAC,50/60Hz
CRI:	80
Dimming:	ELV: 100-10%
Rated Life:	50000 Hours
Mounting:	Installs over a 3" or 4" Junction Box,Can be mounted on wall in all orientations
Standards:	ETL, cETL Wet Location Listed
Construction:	Die-cast aluminum



FINISHES:



LINE DRAWING:





① EL DORADO ROUGH CUT STONE VENEER - AUTUMN LEEF



② HORIZONTAL RUSTIC WOOD SIDING



③ VINTAGE WOODS RUSTIC CEDAR SIDING - VINTAGE GREY



④ WEATHERED FASCIA AND STONE



⑤ COLD ROLLED STEEL



⑥ PRE-WEATHERED COPPER ROOF



⑦ DAVINCI SELECT SHAKE - BLACK OAK



⑧ COLORADO BROWN BOULDERS



⑨ NEWCASTLE ARAGON THREE PIECE PAVER

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Edwards, CO 81632

Seal

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CORDILLERA VALLEY CLUB
EDWARDS, CO**

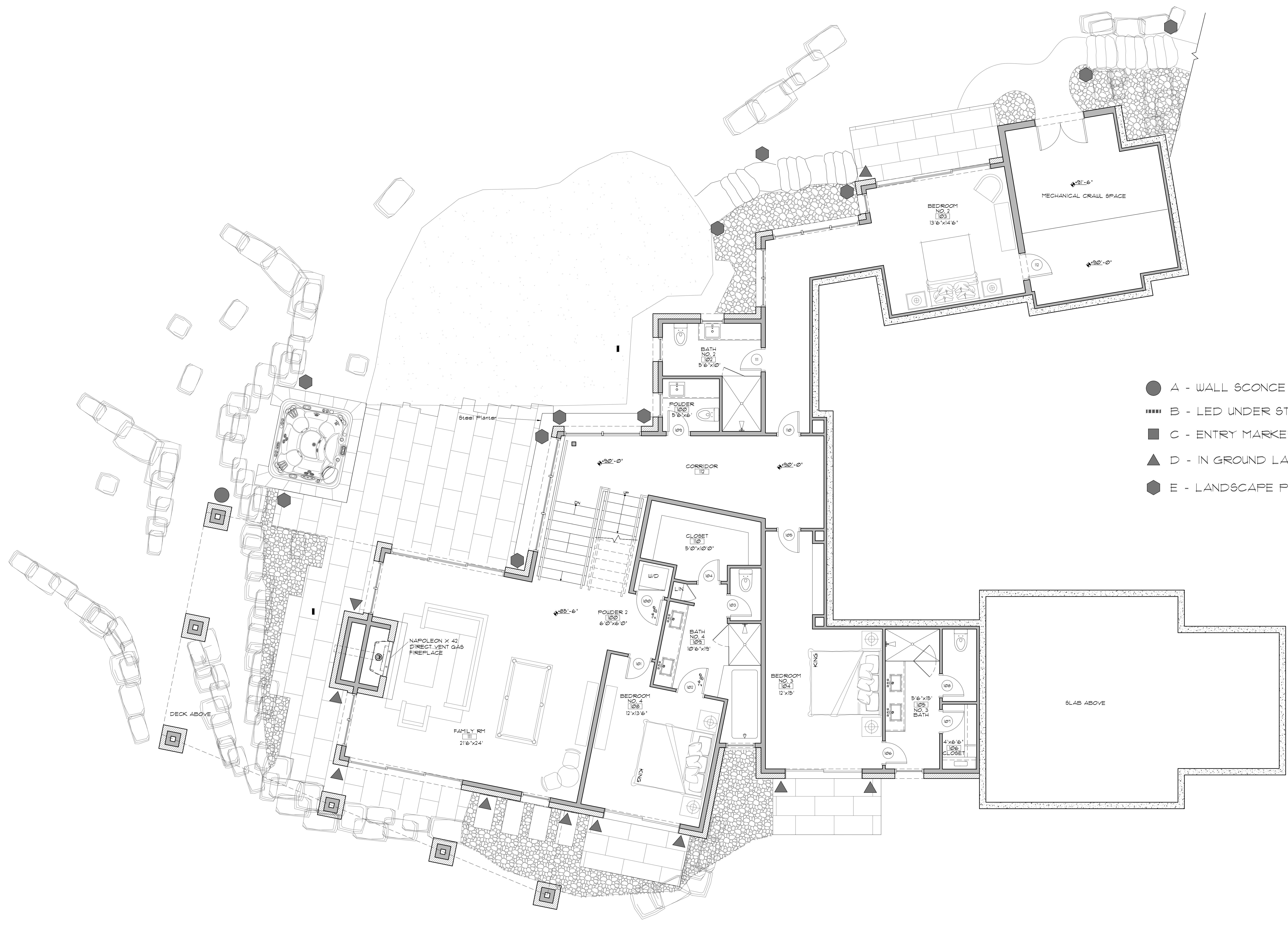
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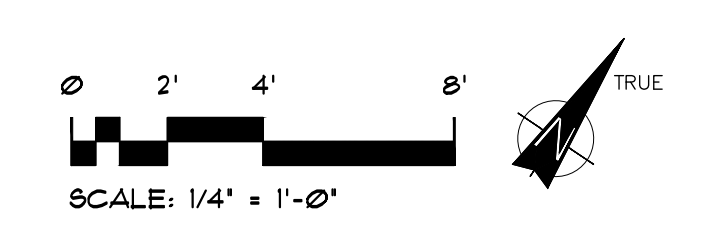
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- A - WALL SCONCE
- ▤ B - LED UNDER STEP LIGHT
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- ▲ D - IN GROUND LAMP
- ◆ E - LANDSCAPE PATH LIGHT

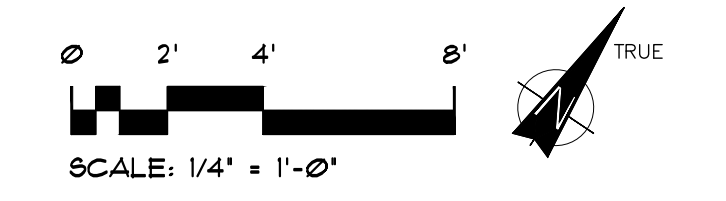
1 LOWER LEVEL FLOOR PLAN
1/4" = 1'-0"

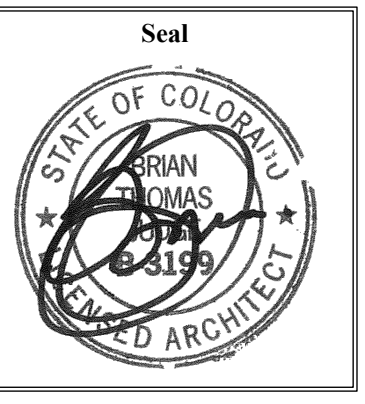




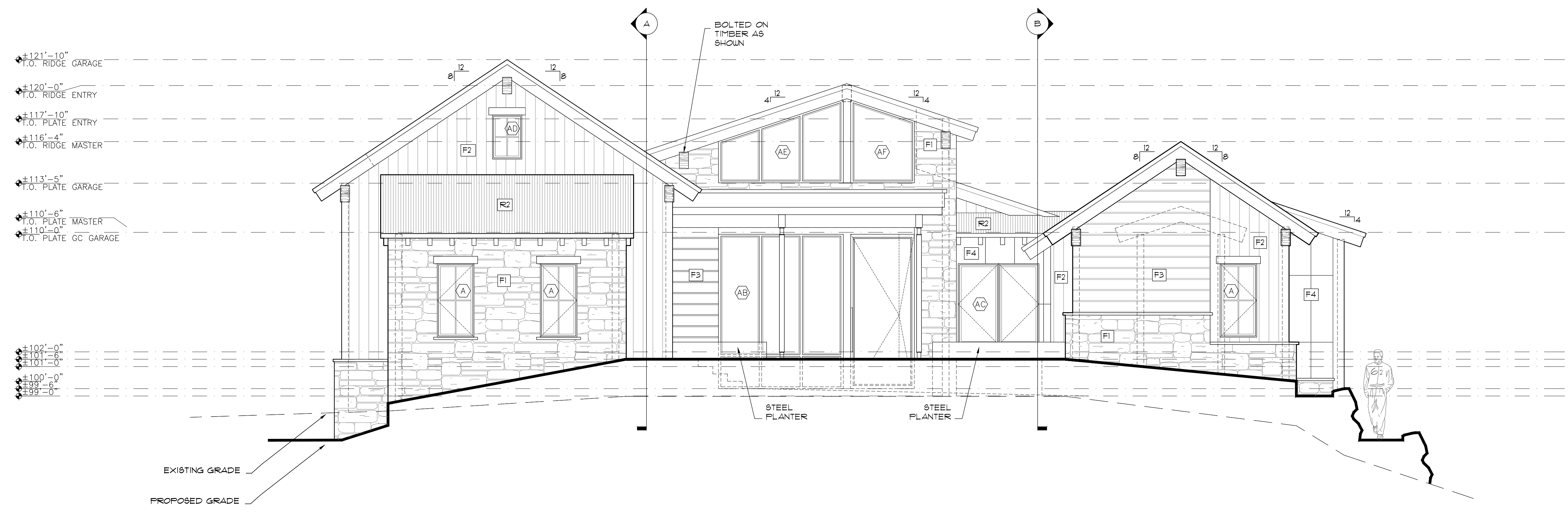
- A - WALL SCNCE
- ▣ B - LED UNDER STEP LIGHT
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1 MAIN LEVEL FLOOR PLAN
 1/4" = 1'-0"





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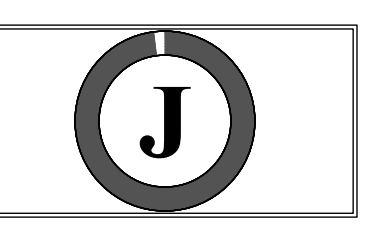
1 EAST ELEVATION
1/4" = 1'-0"



2 WEST ELEVATION
1/4" = 1'-0"



Revisions:



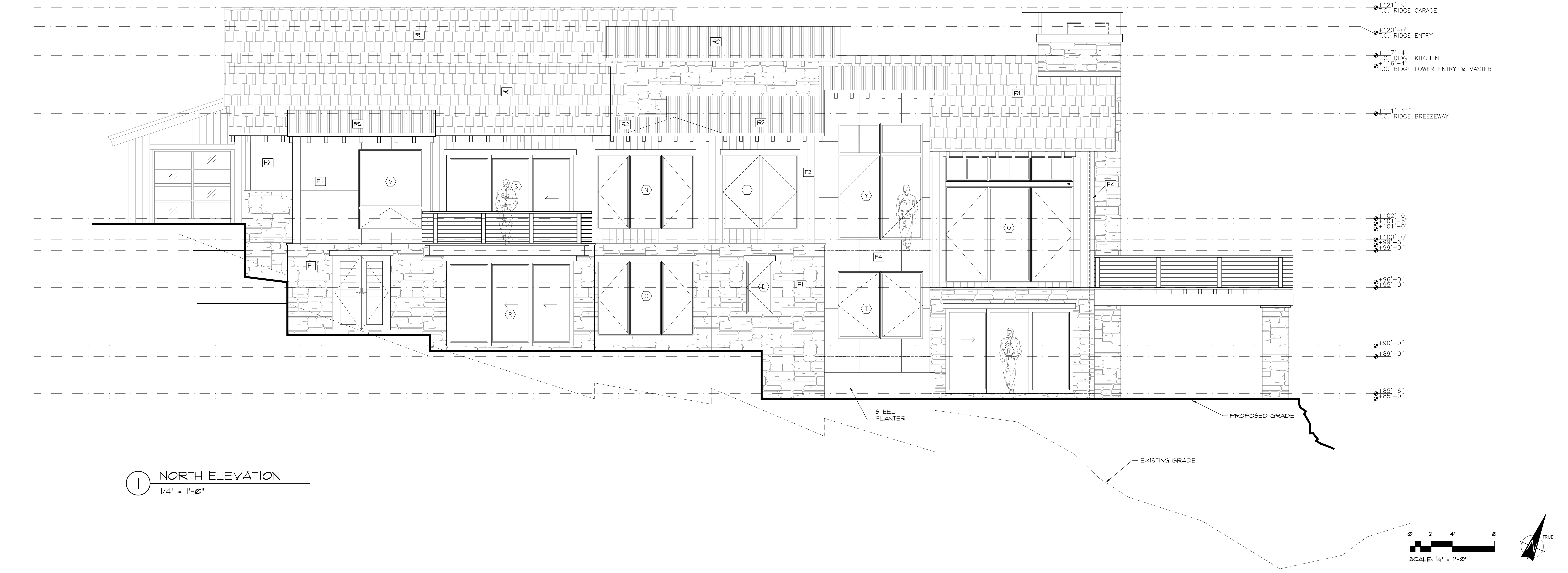
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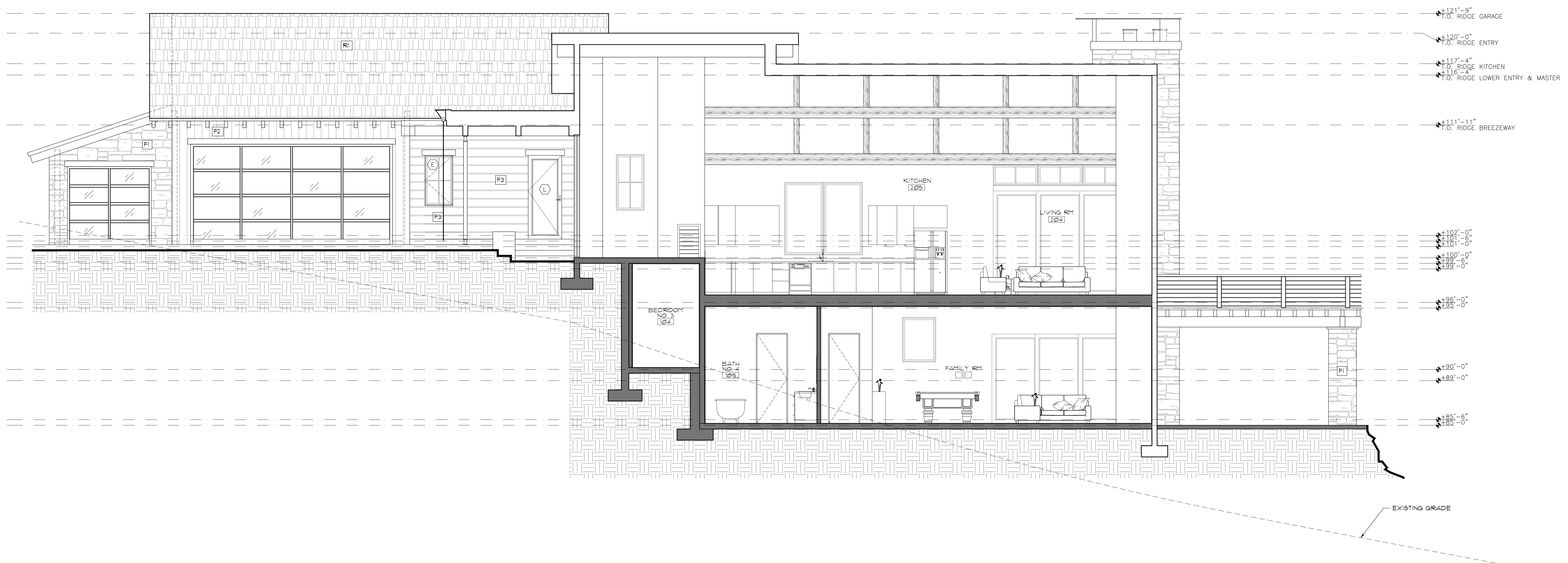
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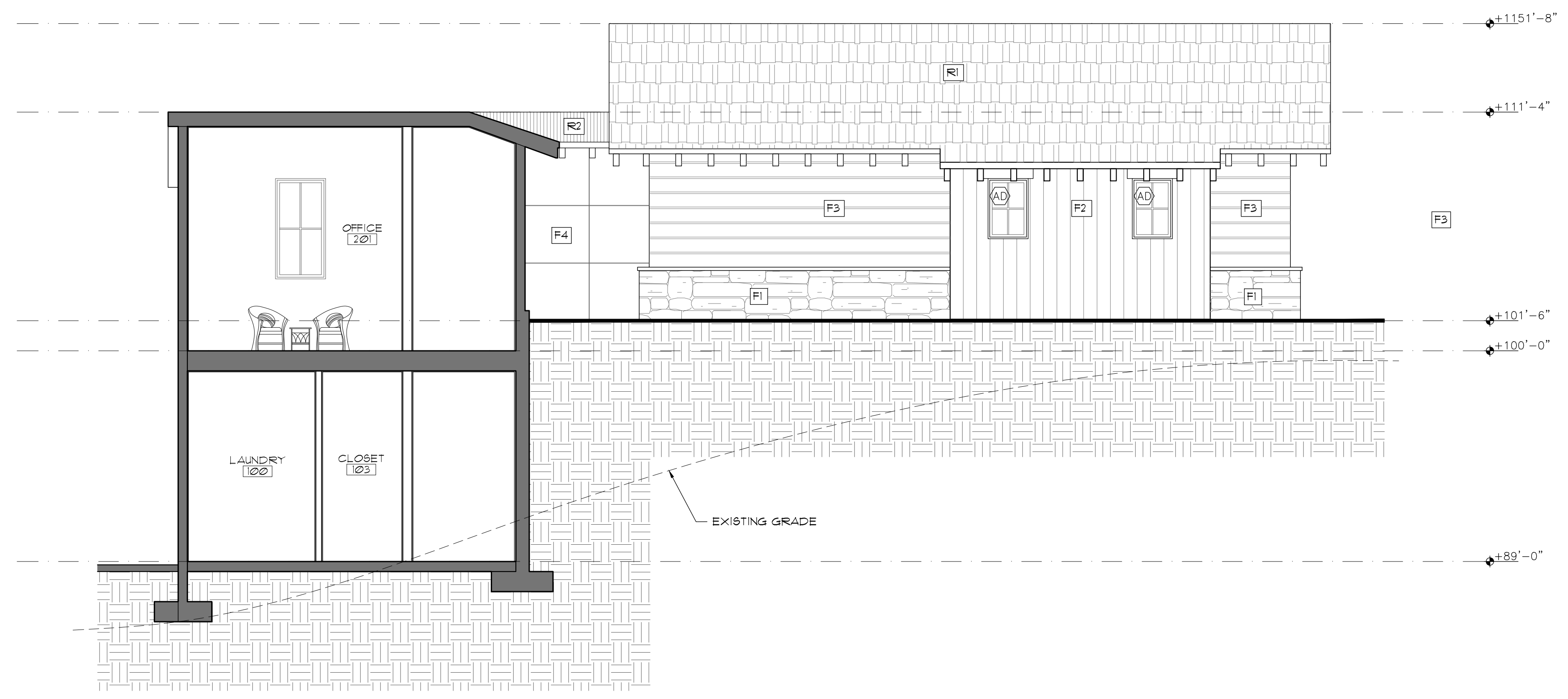
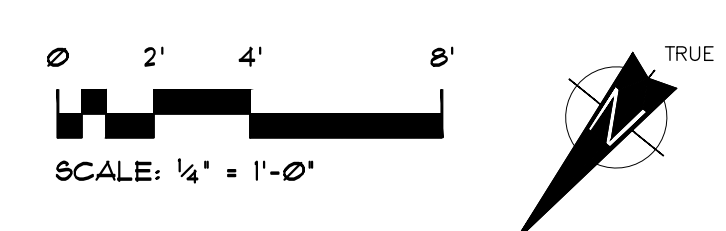
1 SOUTH ELEVATION
1/4" = 1'-0"



1 NORTH ELEVATION
1/4" = 1'-0"



1 NORTH ELEVATION & SITE SECTION 1
1/4" = 1'-0"



2 SOUTH ELEVATION & SITE SECTION
1/4" = 1'-0"

