

Cordillera Valley Club

Design Review Board

Meeting Agenda

Date: August 23, 2023

Time: 11:00 am

CVC DRB Members:

Michael Current

Steve McKeever

Jeff Townsend

Bobby Ladd

Location:

Via Zoom

Project Reviews (11:00 am)

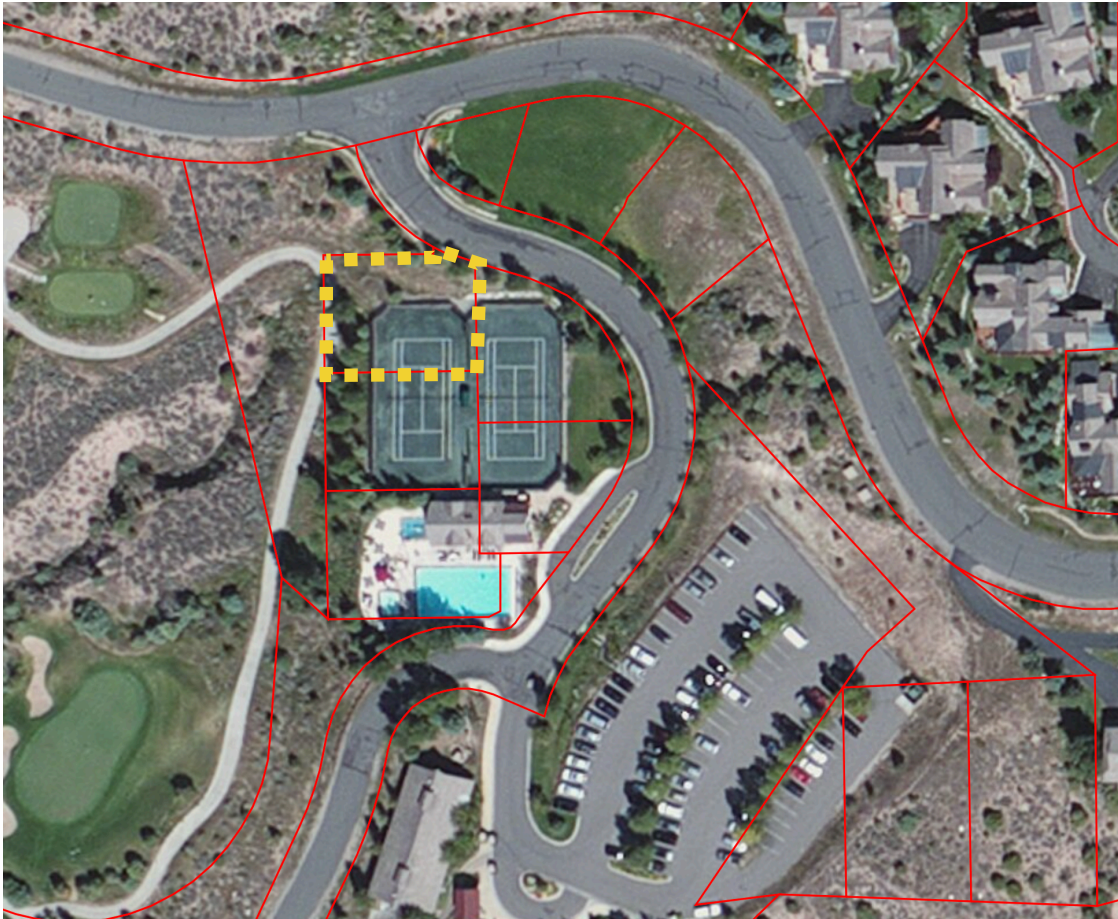
1. Johnson Residence - Fenced-in Dog Run
100 Legends Drive Unit A / Filing 10 Lot 7
Owner: Bruce Johnson
Applicant: Jeff Townsend, Resort Concepts

Cordillera Valley Club Design Review Board *Staff Memorandum*

Owner: Bruce Johnson
Address: 100 Legends Drive Unit A
Legal Address: Lot 7
Representative: Jeff Townsend, Resorts Concepts
Architect: Don Eggers, Eggers Architecture
Staff Contact: Allison Kent, AICP
DRB Hearing #1: August 23, 2023

Project Description

- The applicant is requesting a fenced in dog run



CHANGES TO APPROVED PLANS - August 23, 2023

Project Review

A. Site Plan and Landscape Plan Comments

1. The applicant is requesting a fenced in dog-run. The fence is split-rail with wire mesh, and is approximately 3.5 ft. tall.
2. The applicant is proposing landscaping to screen the fence from the adjacent roadways. However, staff is concerned that it will be visible from Beard Creek Trail and/or Legends Drive.
3. Due to its location, this lot is challenging to provide a fenced in dog-run that will not be visible. However, staff believes there may be alternatives, including using the existing patio and extending stone walls to create a similar enclosure.
4. There are two areas in which the Design Guidelines regulate fencing. The Design Guidelines state:

3.13 ACCESSORY STRUCTURES AND USES

In order to ensure cohesive unified development in the Cordillera Valley Club, all accessory structures such as spas, trampolines, swing sets, jungle gyms, water features, fire pits, gazebos, kennels, dog runs and other similar features shall be physically and architecturally integrated with the main residence, and must be located within the building envelope. Please refer to Section 2.7 - Exterior Equipment and Recreational Equipment for additional information.

Design Considerations

- Accessory structures should be physically and visually connected with the main residence through the use of structural elements, site walls, covered walkways or landscaping.
- All accessory structures shall use building materials, colors, architectural styles and forms consistent with the main residence.
- Enclosed areas shall be provided for Spring C containers, maintenance and recreational equipment, and the storage of firewood and seasonal equipment such as patio furniture.
- Pursuant to Article XVIII of the Covenants, no owner shall construct any fencing on the property except for small dog runs, children's play areas and/or to enclose a maximum of one thousand (1,000) square feet of property immediately adjacent to a residential dwelling. Dog runs may be approved by the DRB, however, they must be located within the building envelope contiguous to the main residence and be fully screened from the Cordillera Valley Golf Course and Clubhouse, adjacent properties, and roadways. At the discretion of the DRB, certain homesites may not be permitted to have a dog run due to the potential visibility from surrounding areas. Dog runs shall be constructed of materials consistent with the main residence.

4.7 RETAINING WALLS, LANDSCAPE WALLS AND FENCES

Design Considerations for Fences:

- Fencing of any kind is discouraged within CVC and will only be approved when compliance with provisions herein can be accomplished.
- Fencing is limited to enclosing a maximum of one thousand (1,000) square feet of lot immediately adjacent to a residential dwelling (i.e., within approximately twenty (20) feet of the foundation of the home) to allow for dog runs, play areas for children, and similar purposes (per Declaration of Covenants, Conditions, Restrictions and Easements for Cordillera Valley Club).
- No perimeter lot fencing or the arbitrary fencing of building envelope areas is permitted. Fencing must compliment the design, the materials and the color of the residence. Applicant must submit fencing details to the DRB for approval and a sample of the proposed material (with the proposed color and finish).
- Fencing must be placed so that it is inconspicuous when viewed from surrounding properties, the golf course, the street, or other public areas. Fencing should be limited in height to a maximum of four (4) feet and shall appear open with a character of an open rail fence or similar design that tends to disappear from view at a distance. Solid or largely opaque fences are not permitted. Whenever possible, retaining walls and landscape materials should be used in-lieu of fencing to create enclosure and restrict access.
- Landscape materials should be used to further mitigate the visibility of any approved fence but should not be considered as a full remedy from the visibility provisions contained herein.
- The DRB may approve minor deviations from the fencing requirements when it can be demonstrated that: 1. The proposal complies with the overall intent of the design considerations; 2. The proposal complies with the Declaration of Covenants, Conditions, Restrictions and Easement for Cordillera Valley Club; and 3. The proposal does not adversely affect views from surrounding properties, the golf course, the street, or other public areas.

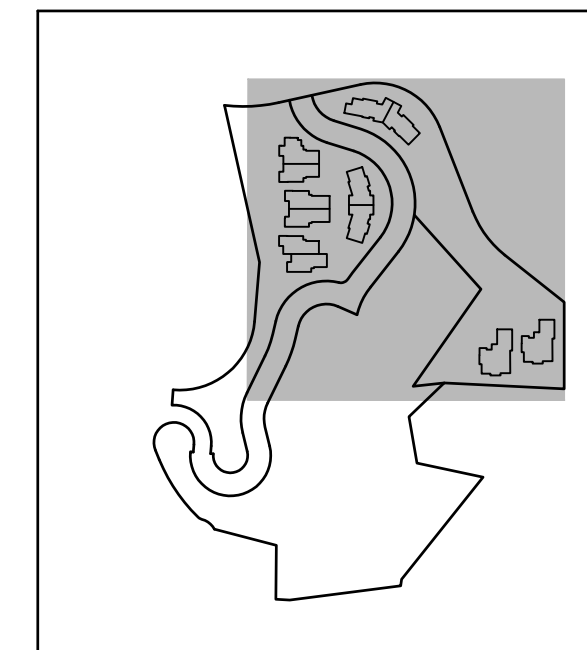
B. Staff Recommendation

Staff recommends the DRB provide input on the proposed fenced in dog run. Should the DRB choose to approve the dog-run at Lot 7 of the Club Residences, staff recommends the following conditions:

1. General Condition: Compliance with the CVC Design Guidelines and process is not a substitute for compliance with Eagle County regulations, State regulations, or Federal regulations. Additional permits and approvals may be required by these agencies prior to commencing any work on the property. The property owner and its agents are responsible for ensuring compliance with all local, state, and federal regulations.
2. The fence shall be screened with landscaping to ensure that it is not visible from the golf course or public roadway.
3. A compliance deposit in the amount of \$10,000 shall be required to ensure that the fence is adequately landscaped. The deposit shall not be refunded until staff verifies the fencing is not visible.



KEYMAP



811

**Know what's below.
Call before you dig.**

LANDSCAPE ARCHITECT:
TOMINA TOWNSEND, LA
PO BOX 3000, PMB 301
EDWARDS, CO 81632
P. 303.572.7876
TTownsend@ResortConceptsCO.com


LEGEND

- EXISTING ELEMENT TO BE REMOVED
- EXISTING TREE, TO REMAIN
- X EXISTING TREE, TO BE REMOVED

CORDILLERA VALLEY CLUB

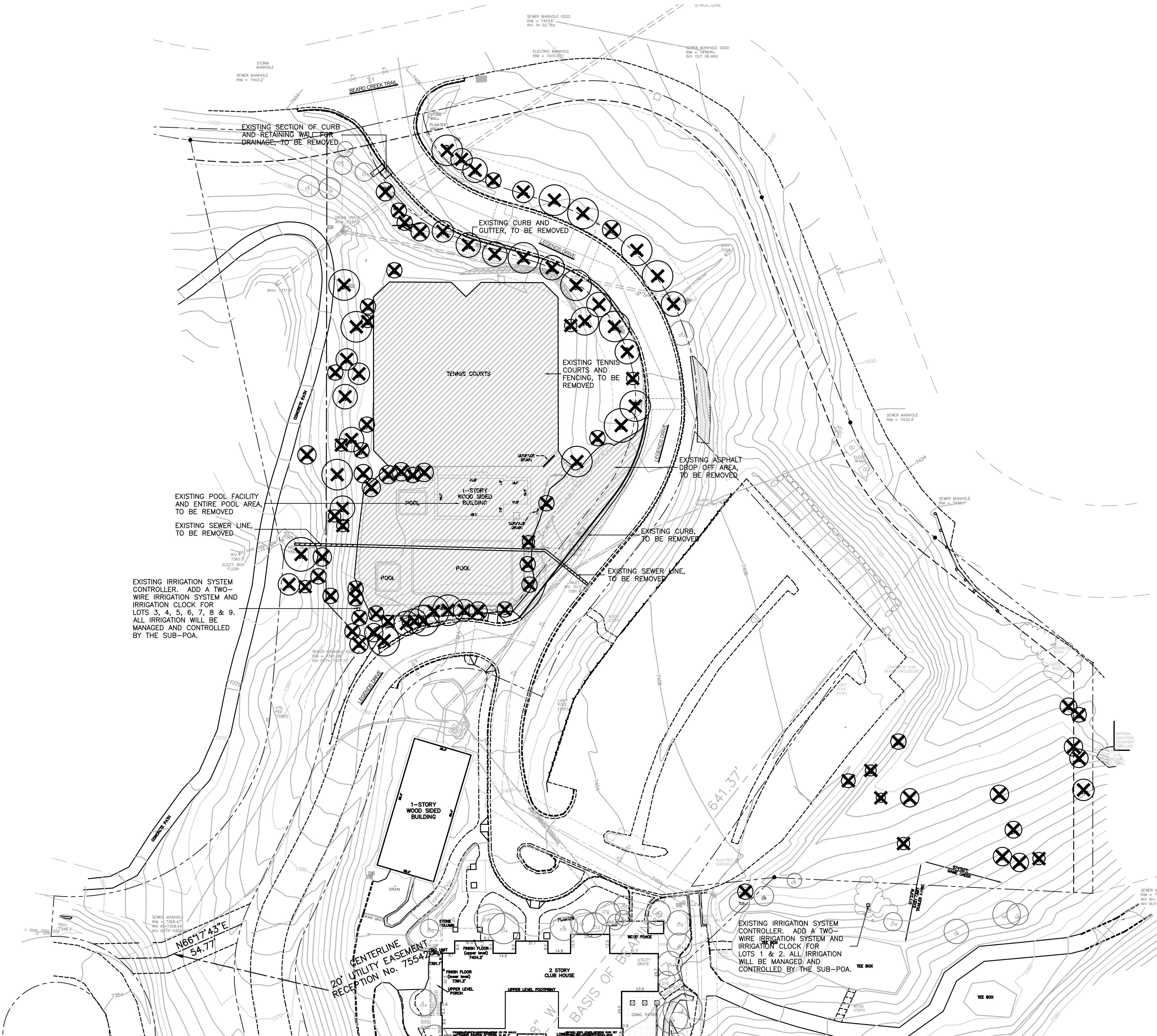
LOT 7

EAGLE COUNTY, COLORADO

DESIGNED: TT
DRAWN: TT
CHECKED: JT
DATE: July 12, 2021
REVISIONS:
PERMIT SET: 8.16.21
ADDED IRRIGATION NOTES: 10.18.21
 REVISIONS BASED ON OWNER COMMENTS: 7.5.23

PERMIT SET
SHEET TITLE:
EXISTING CONDITIONS & DEMO PLAN
SCALE: 1"=30'-0"
SHEET NUMBER:

L1



XREFS: [unreadable]
SHEETS: [unreadable]
DATE: May 10, 2023 - 2:02PM



Know what's below.
Call before you dig.

LANDSCAPE ARCHITECT:
TOMINA TOWNSEND, LA
PO BOX 3000, PMB 301
EDWARDS, CO 81632
P. 303.572.7876
TTownsend@ResortConceptsCO.com

CORDILLERA VALLEY CLUB
LOT 7
EAGLE COUNTY, COLORADO

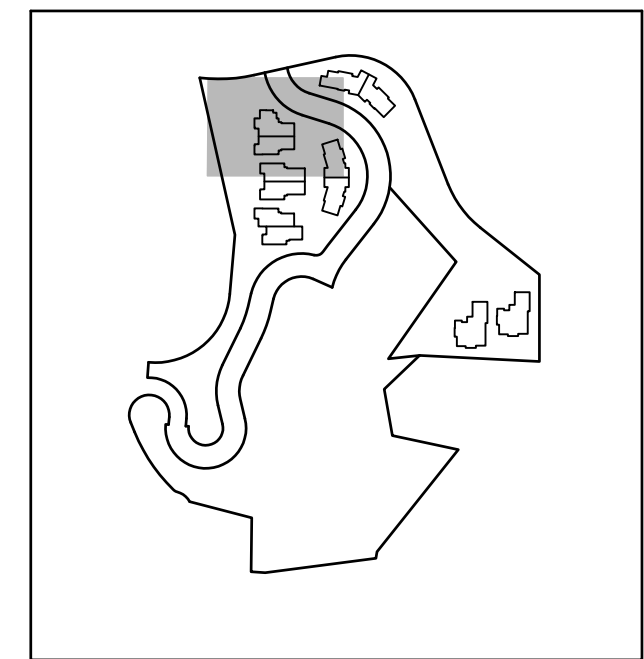
DESIGNED: TT
DRAWN: TT
CHECKED: JT
DATE: July 12, 2021
REVISIONS:
PERMIT SET: 8.16.21
ADDED IRRIGATION NOTES: 10.18.21
REVISIONS BASED ON OWNER COMMENTS: 7.5.23
MODIFIED DOG RUN AND SCREENED FROM GOLF COURSE AND ROAD: 8.10.23

PERMIT SET

SHEET TITLE:
PROPOSED
LANDSCAPE PLAN
SCALE: 1"=10'-0"
SHEET NUMBER:

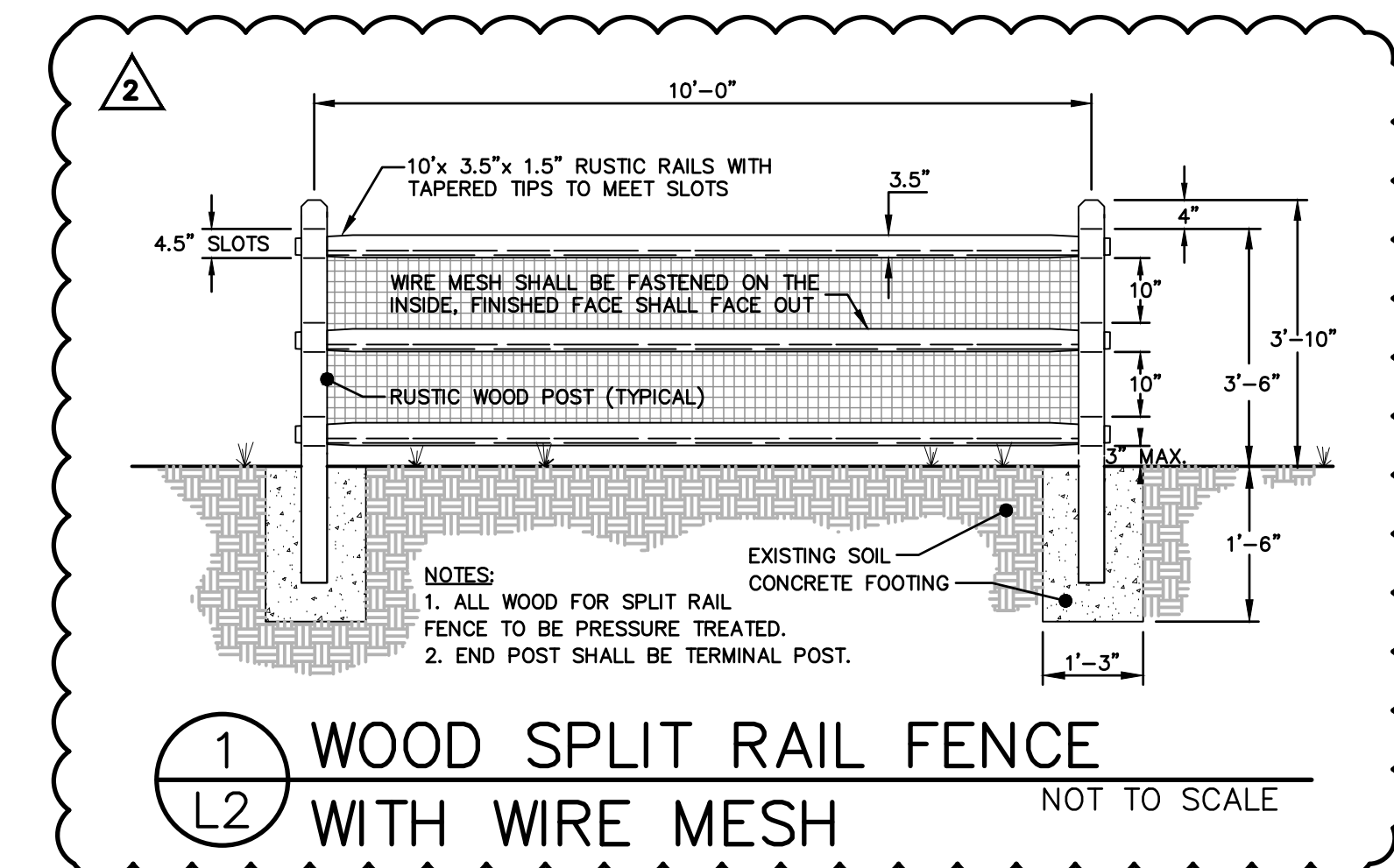
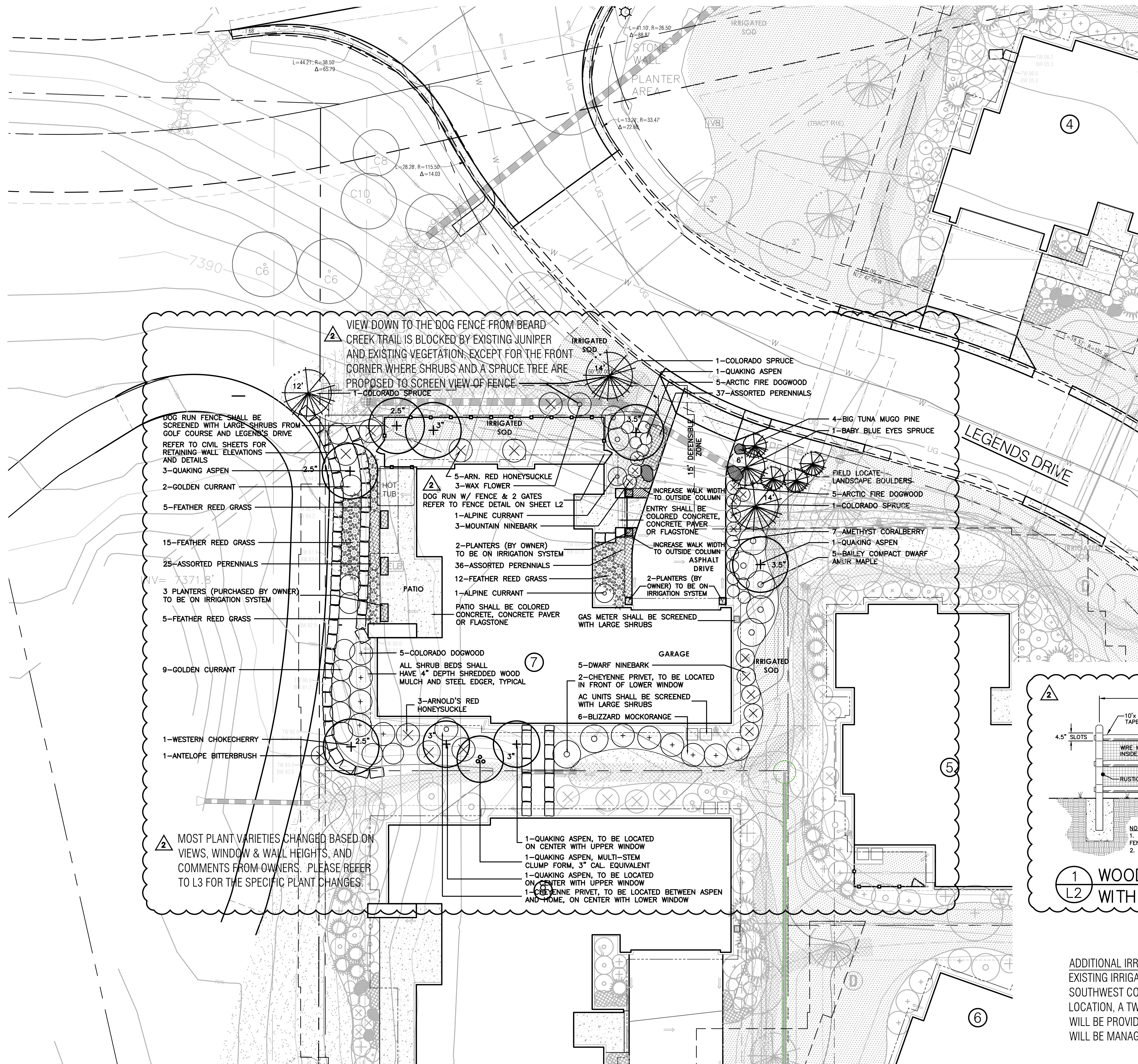
L2

KEYMAP



LEGEND

- EXISTING TREE, TO REMAIN
- PROPOSED LANDSCAPE BOULDERS, TO BE FIELD LOCATED
- PROPOSED DECIDUOUS TREE
- PROPOSED EVERGREEN TREE
- PROPOSED DECIDUOUS SHRUBS
- PROPOSED SEMI-EVERGREEN SHRUBS
- PROPOSED PERENNIALS
- SNOW STORAGE AREA (REFER TO ENGINEERING)



ADDITIONAL IRRIGATION SYSTEM NOTES:
EXISTING IRRIGATION SYSTEM CONTROLLER IS LOCATED AT THE SOUTHWEST CORNER OF LOT 9 (SHOWN ON SHEET L1). AT THAT LOCATION, A TWO-WIRE IRRIGATION SYSTEM AND IRRIGATION CLOCK WILL BE PROVIDED FOR LOTS 3, 4, 5, 6, 7, 8 & 9. ALL IRRIGATION WILL BE MANAGED AND CONTROLLED BY THE SUB-POA.

FILE NAME: \\resort-concepts\projects\cordillera-valley-club\landscape\l2.dwg
PLOT DATE: May 10, 2023 2:20:59
XREFS: \\resort-concepts\projects\cordillera-valley-club\landscape\l1.dwg
\\resort-concepts\projects\cordillera-valley-club\landscape\l3.dwg
\\resort-concepts\projects\cordillera-valley-club\landscape\l4.dwg
\\resort-concepts\projects\cordillera-valley-club\landscape\l5.dwg
\\resort-concepts\projects\cordillera-valley-club\landscape\l6.dwg
\\resort-concepts\projects\cordillera-valley-club\landscape\l7.dwg
\\resort-concepts\projects\cordillera-valley-club\landscape\l8.dwg
\\resort-concepts\projects\cordillera-valley-club\landscape\l9.dwg
\\resort-concepts\projects\cordillera-valley-club\landscape\l10.dwg
\\resort-concepts\projects\cordillera-valley-club\landscape\l11.dwg
\\resort-concepts\projects\cordillera-valley-club\landscape\l12.dwg
\\resort-concepts\projects\cordillera-valley-club\landscape\l13.dwg
\\resort-concepts\projects\cordillera-valley-club\landscape\l14.dwg
\\resort-concepts\projects\cordillera-valley-club\landscape\l15.dwg
\\resort-concepts\projects\cordillera-valley-club\landscape\l16.dwg
\\resort-concepts\projects\cordillera-valley-club\landscape\l17.dwg
\\resort-concepts\projects\cordillera-valley-club\landscape\l18.dwg
\\resort-concepts\projects\cordillera-valley-club\landscape\l19.dwg
\\resort-concepts\projects\cordillera-valley-club\landscape\l20.dwg
\\resort-concepts\projects\cordillera-valley-club\landscape\l21.dwg
\\resort-concepts\projects\cordillera-valley-club\landscape\l22.dwg
\\resort-concepts\projects\cordillera-valley-club\landscape\l23.dwg
\\resort-concepts\projects\cordillera-valley-club\landscape\l24.dwg
\\resort-concepts\projects\cordillera-valley-club\landscape\l25.dwg
\\resort-concepts\projects\cordillera-valley-club\landscape\l26.dwg
\\resort-concepts\projects\cordillera-valley-club\landscape\l27.dwg
\\resort-concepts\projects\cordillera-valley-club\landscape\l28.dwg
\\resort-concepts\projects\cordillera-valley-club\landscape\l29.dwg
\\resort-concepts\projects\cordillera-valley-club\landscape\l30.dwg
\\resort-concepts\projects\cordillera-valley-club\landscape\l31.dwg
\\resort-concepts\projects\cordillera-valley-club\landscape\l32.dwg
\\resort-concepts\projects\cordillera-valley-club\landscape\l33.dwg
\\resort-concepts\projects\cordillera-valley-club\landscape\l34.dwg
\\resort-concepts\projects\cordillera-valley-club\landscape\l35.dwg
\\resort-concepts\projects\cordillera-valley-club\landscape\l36.dwg
\\resort-concepts\projects\cordillera-valley-club\landscape\l37.dwg
\\resort-concepts\projects\cordillera-valley-club\landscape\l38.dwg
\\resort-concepts\projects\cordillera-valley-club\landscape\l39.dwg
\\resort-concepts\projects\cordillera-valley-club\landscape\l40.dwg
\\resort-concepts\projects\cordillera-valley-club\landscape\l41.dwg
\\resort-concepts\projects\cordillera-valley-club\landscape\l42.dwg
\\resort-concepts\projects\cordillera-valley-club\landscape\l43.dwg
\\resort-concepts\projects\cordillera-valley-club\landscape\l44.dwg
\\resort-concepts\projects\cordillera-valley-club\landscape\l45.dwg
\\resort-concepts\projects\cordillera-valley-club\landscape\l46.dwg
\\resort-concepts\projects\cordillera-valley-club\landscape\l47.dwg
\\resort-concepts\projects\cordillera-valley-club\landscape\l48.dwg
\\resort-concepts\projects\cordillera-valley-club\landscape\l49.dwg
\\resort-concepts\projects\cordillera-valley-club\landscape\l50.dwg

General Notes and Specifications:

1. All areas disturbed by construction and not designated a shrub bed or wildflower seed, shall be planted with the specified native grass seed.
2. The contractor shall maintain positive drainage away from all walls and walkways. Fine grading shall be approved prior to planting.
4. The Landscape Plan shall be reviewed on site prior to installation to ensure planting meets the intent of the design guidelines and county wildfire mitigation standards.
5. All proposed juniper to be limbed to 10'-0" above grade per Eagle County Wildfire Regulations.
6. Quantity and location of "natural" shrub plantings within Wildfire Mitigation Zone 2 shall be subject to field review by Eagle County Wildfire Mitigation Officer.
7. See Civil Engineering sheets for final grading and drainage.
8. Snow Storage area shall be a min. of 25% of all driveway and parking areas.

Revegetation Notes:

1. Seed shall be broadcast and raked to 1/4" depth.
2. Apply Biodegradable Green Dyed-Wood Cellulose-Fiber Mulch to all seeded Areas at a rate of 20 lbs. per 1,000 s.f.
3. Prior to seeding, apply min. 6" topsoil, 10 lbs./1,000 s.f. Superphosphate and 40 lbs./1,000 s.f. Biosol Complete Fertilizer.

Fire Mitigation Notes:

1. Zone 1 (15' from building and integral planting): no flammable plants shall be planted within 15' of the structure or attachments.
2. Zone 2 (70' from building and Integral planting): a 10' crown separation must be maintained for all conifers and shrubs over 4'. A 4' crown separation must be maintained for shrubs under 4'.
3. Plants listed on forest service publication 6.305 FireWise Plant Material can be used in any zone.
4. Existing junipers within Zone 1 and Zone 2 must be limbed 1/3 of their total height, but no more than 10'.
5. Dead limbs shall be removed from all existing Serviceberries within Zone 1 or Zone 2.
6. Final existing vegetation to be limbed or removed will be subject to the constraints of the final unit site plans and reviewed on site with a representative from the Eagle County Wildfire Mitigation, Cordillera DRB and Resort Concepts on a unit by unit basis prior to construction.

Legend & Irrigation Calculations		Water Usage (assuming a spray rate of 12 gal for a 450 sf zone for 15 min.=.25 inches)
Permanent Irrigation		Square Footage of Irrigation
	Permanent Pop-Up Spray Irrigation For Bluegrass Sod	452 SF
	Permanent micro-spray or drip irrigation for perennial beds	△ ±04 73 SF
	Permanent Drip Irrigation For B&B Trees	△ ±13 TREES x 4.5 SF = 58.5 SF
	Permanent Drip Irrigation For 5 gal. Shrubs & Grasses	△ ±106 SHRUBS x 3 SF = 318 SF
		TOTAL PERMANENT IRRIGATION WATER AREA: 901.5 SF
		TOTAL PERMANENT IRRIGATION WATER USE: 1,040 gallons per week
Temporary Irrigation		
	Temporary Spray Irrigation For Establishment of Native Seed	75 SF
		2 gal. per 15 min. run time (Temporary to establish seed)

NOTE:
1. See Civil Engineering sheets for final grading and drainage.

IRRIGATION NOTES:
1. Design Criteria: Design automatic underground irrigation system to uniformly irrigate all planting areas. Zone irrigated turf grass and shrub planting areas separately. Provide drip irrigation for shrub beds. Provide micro-spray heads or drip irrigation, depending on plant material, in perennial and groundcover beds. Design rotors for turf grass areas more than 40' wide, pop-up spray heads for areas less than 40' wide.
2. All trees and shrubs to be drip irrigated.

NATIVE SEED REVEGETATION MIX (ROADWAY MIX):

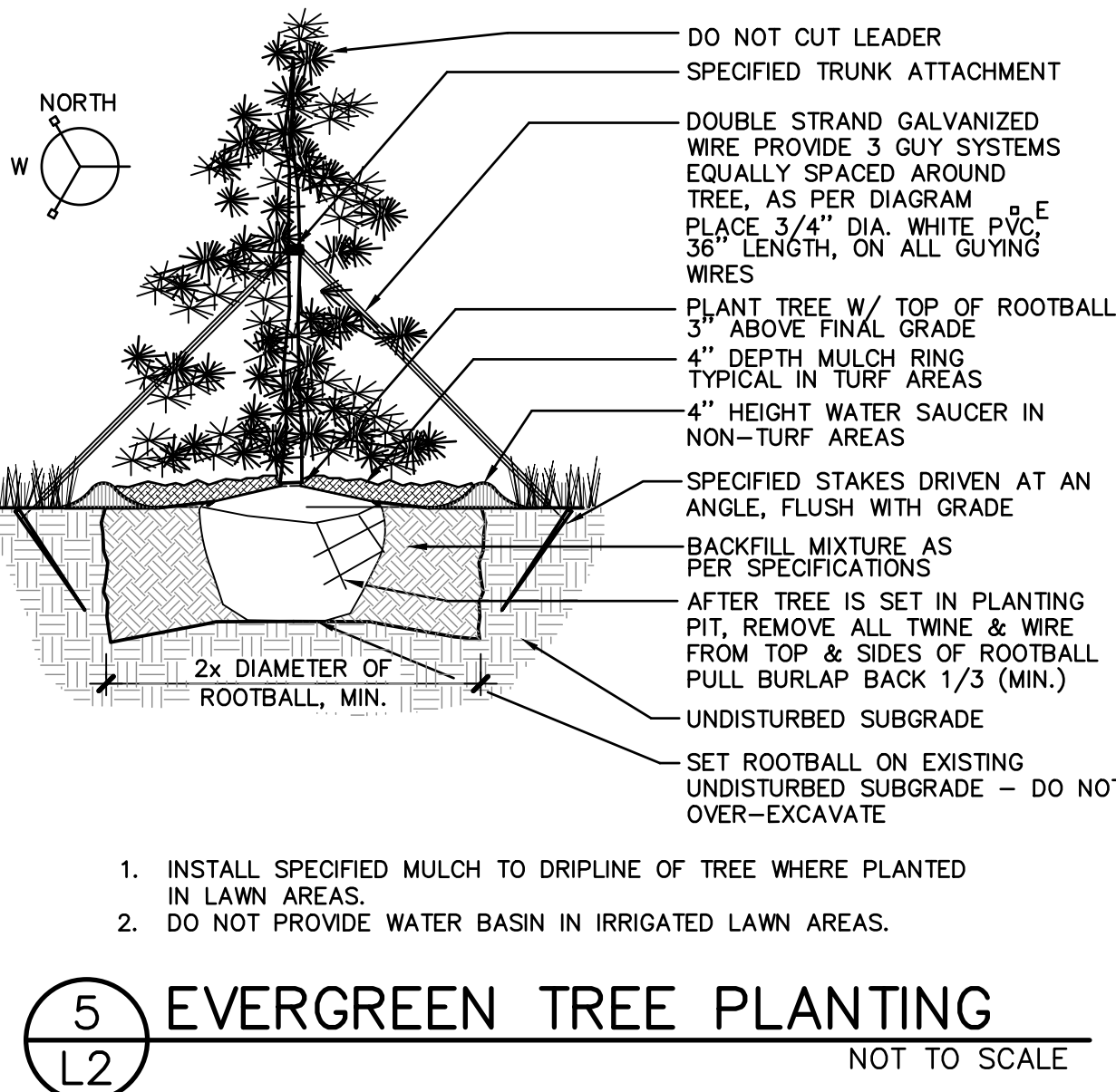
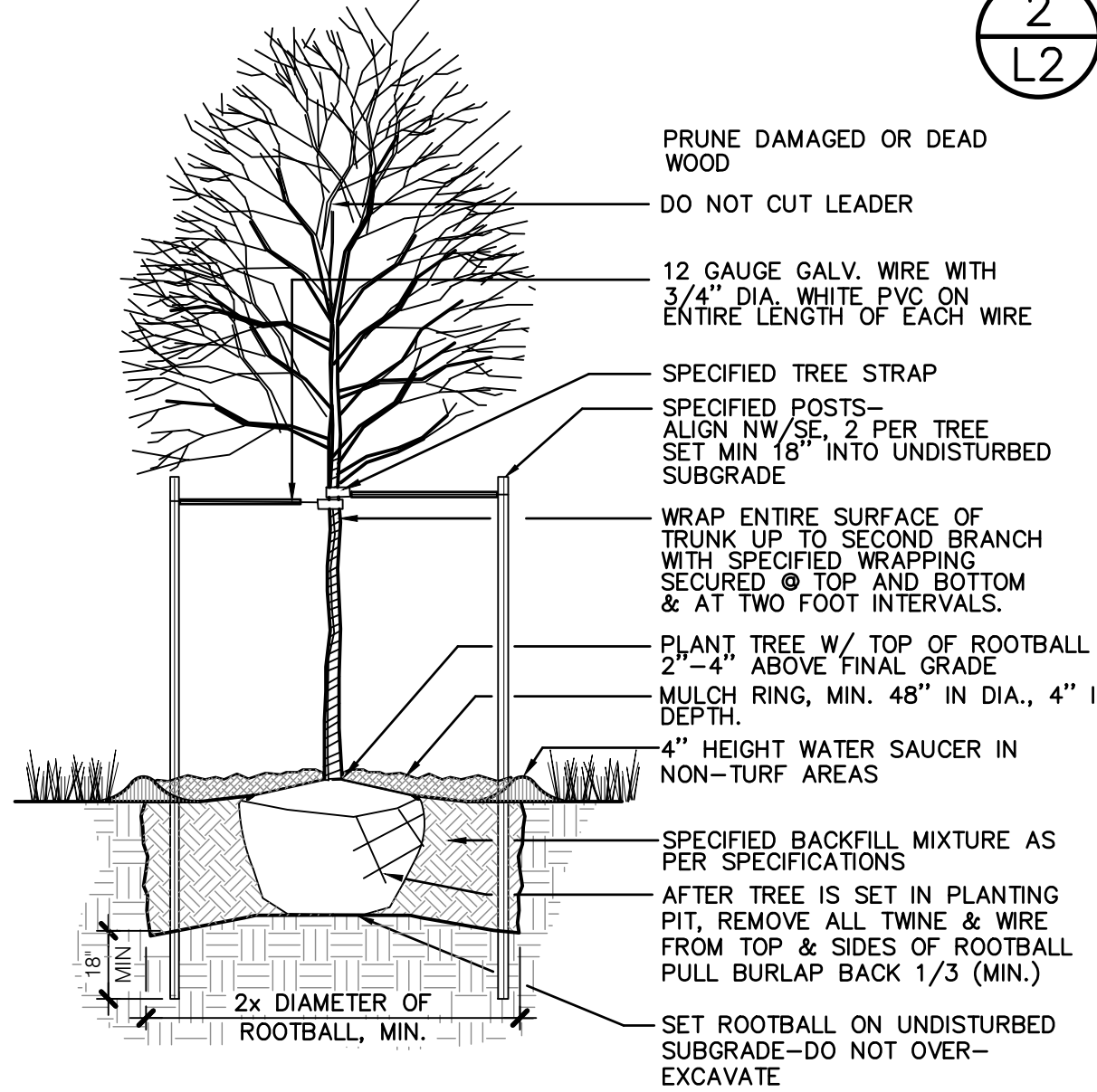
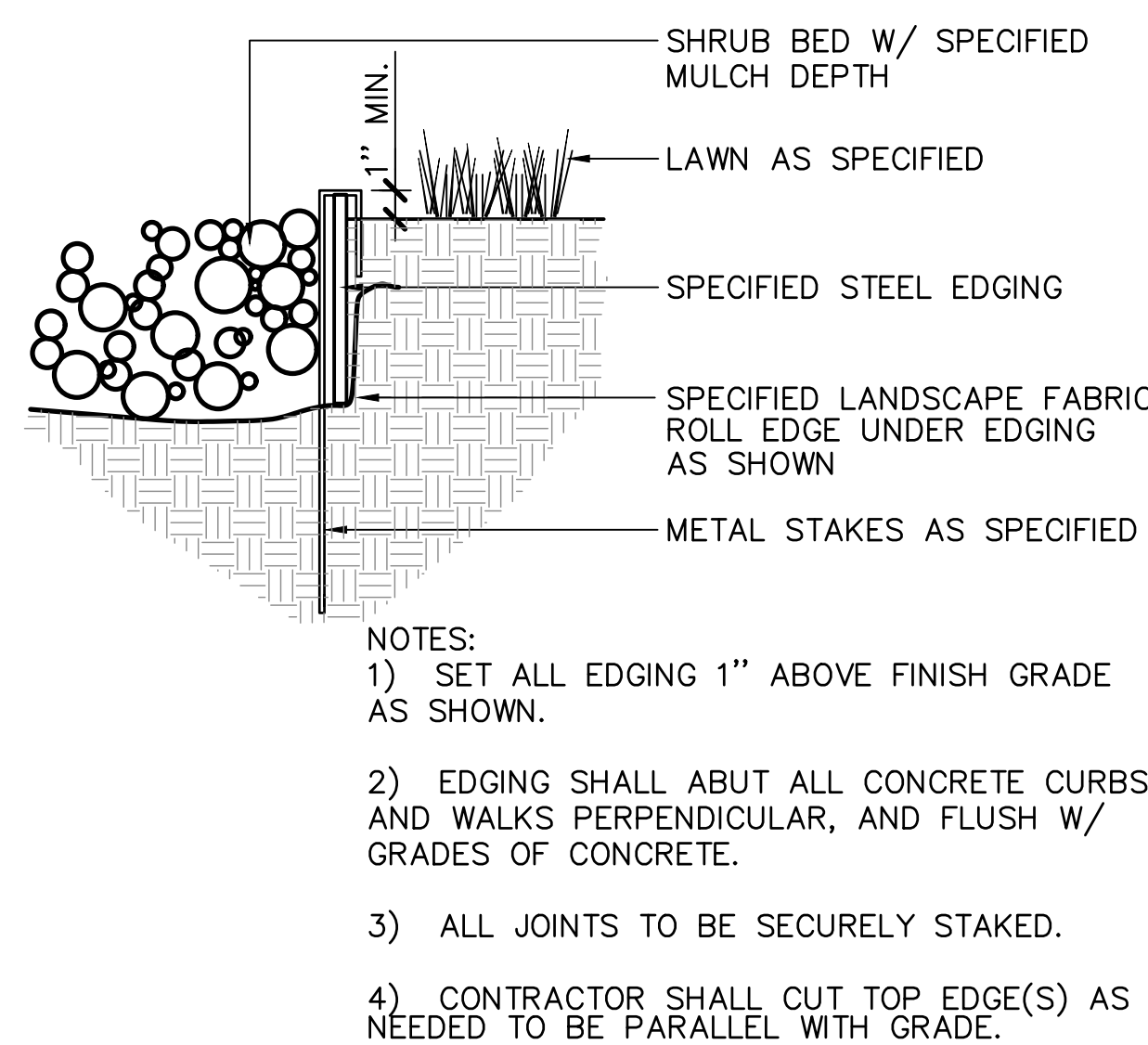
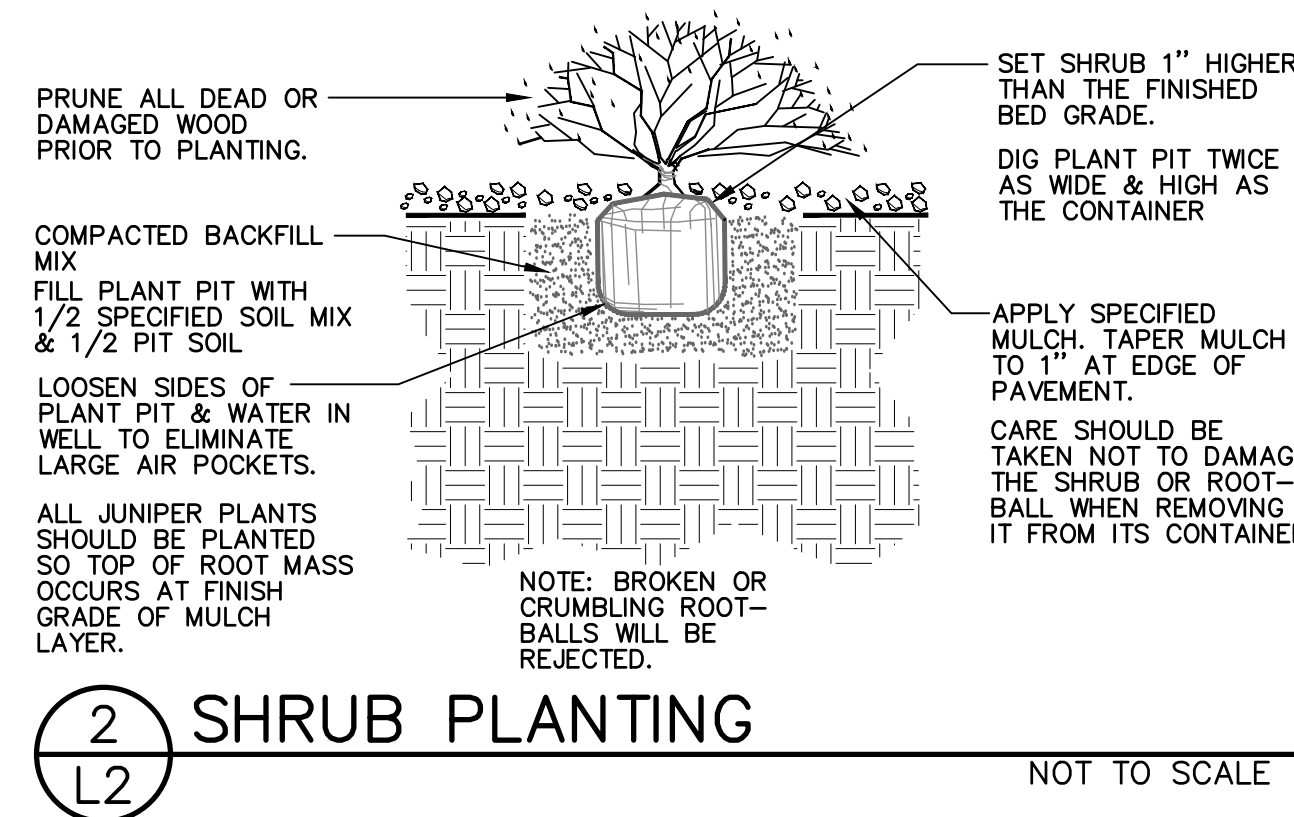
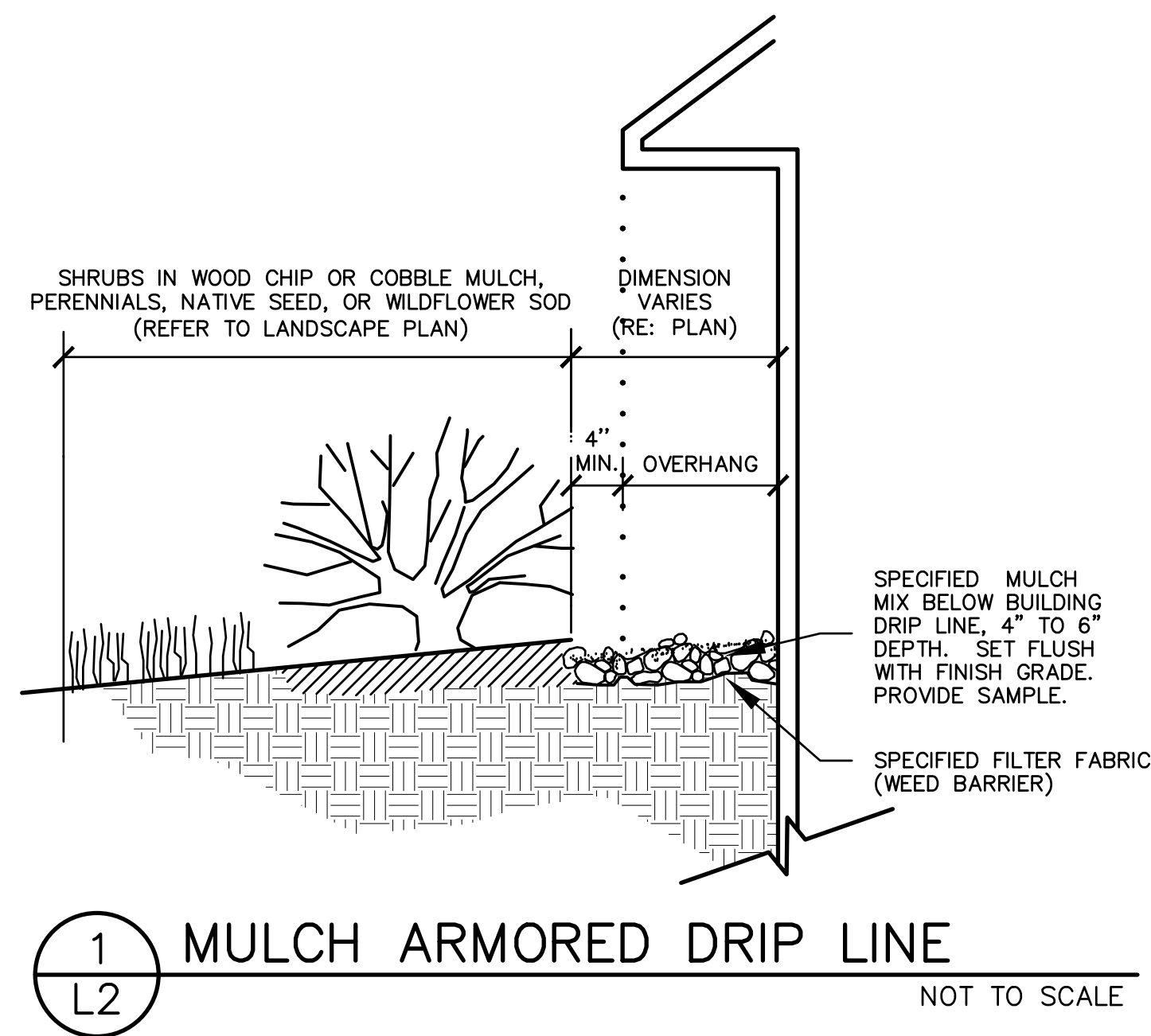
Scientific Name	Variety	Percent
Bluebunch Wheatgrass <i>Agropyron spicatum</i>	Secar	9.77
Slender Wheatgrass <i>Agropyron trachycalum</i>	Revenue	28.28
Western Wheatgrass <i>Agropyron smithii</i>	Arriba	47.58
Sheep Fescue <i>Festuca ovina</i>	MX-86	10.08

Seeding Rate: Hydroseed @ 20 Lbs/Acre
Hand Broadcast @ 40 Lbs/Acre

NATIVE SEED REVEGETATION MIX (NON-ROADWAY MIX):

Scientific Name	Variety	Percent
Bluebunch Wheatgrass <i>Agropyron spicatum</i>	Secar	26.26
Slender Wheatgrass <i>Agropyron trachycalum</i>	Revenue	26.14
Western Wheatgrass <i>Agropyron smithii</i>	Arriba	14.03
Sheep Fescue <i>Festuca ovina</i>	MX-86	9.94
Arizona Fescue <i>Festuca arizonica</i>	Redondo	8.09
Canby Bluegrass <i>Poa canbyi</i>		5.44
Bottlebrush Squirreltail <i>Elymus elymoides</i>		4.25
Prairie Junegrass <i>Koeleria macrantha</i>		1.81

Seeding Rate: Hydroseed @ 20 Lbs/Acre
Hand Broadcast @ 40 Lbs/Acre



PROPOSED PLANT MATERIALS LIST

NOTE: ALL PLANT MATERIAL FOUND WITHIN 15' DEFENSIBLE ZONE IS CHOSEN FROM THE CSU EXTENSION FIREWISE PLANT MATERIALS LIST-6.305

QUAN.	COMMON/ BOTANICAL NAME	FIRE MITIGATION ZONE	SIZE	COMMENTS
EVERGREEN TREES (ONLY TO BE LOCATED OUTSIDE THE 15' DEFENSIBLE ZONE)				
△ ±01	Baby Blue Eyes Spruce (a compact variety) <i>Picea pungens 'Baby Blue Eyes'</i>		6' ht.	Specimen quality B&B, staked
1	Colorado Blue Spruce <i>Picea pungens</i>	2	12' ht.	Specimen quality B&B, staked
△ ±02	Colorado Blue Spruce <i>Picea pungens</i>	2	14' ht.	Specimen quality B&B, staked
DECIDUOUS TREES				
△ ±2	Quaking Aspen <i>Populus tremuloides</i>	1 & 2	2.5" cal.	Specimen quality B&B, guyed
△ ±3	Quaking Aspen <i>Populus tremuloides</i>	1 & 2	3" cal.	Specimen quality B&B, guyed
△ ±2	Quaking Aspen <i>Populus tremuloides</i>	1 & 2	3.5" cal.	Specimen quality B&B, guyed
△ ±1	Quaking Aspen <i>Populus tremuloides</i>	1 & 2	multi-stem clump form	Specimen quality B&B, guyed
△ ±0	Amur Maple <i>Acer ginnala</i>	1 & 2	2.5" cal.	Specimen quality B&B, guyed
△ ±1	Western Chokecherry <i>Prunus virginiana melanocarpa</i>	1 & 2	2.5" cal.	Specimen quality B&B, guyed
△ ±0	Native Mountain Ash <i>Sorbus scopulina</i>	1 & 2	2.5" cal.	Specimen quality B&B, guyed
PERENNIALS & ORNAMENTAL GRASSES (Approximately 73 sf. @ 12" O.C. spacing)				
△ ±04 73	Assorted Perennials (All perennials to be chosen by landscape installer from FIREWISE PLANT MATERIALS LIST)			
△ ±037	Feather Reed Grass <i>Calamagrostis x acutiflora 'Karl Foerster'</i>	1 & 2	1 gal.	Container Full
EVERGREEN/SEMI-EVERGREEN/BROADLEAF EVERGREEN SHRUBS				
△ ±0	Common Mountain Mahogany <i>Cercocarpus montanus</i>	1 & 2	5 gal.	Container, 5 canes minimum 24"-36" ht.
△ ±0	Littleleaf Mountain Mahogany <i>Cercocarpus intricatus</i>	1 & 2	5 gal.	Container, 5 canes minimum 18"-24" ht.
△ ±0	Purple Creeping Colorado Holly <i>Mahonia repens Darkstar</i>	1 & 2	5 gal.	Container, Specimen Quality 10"-18" min. spread
△ ±0	Rock Cotoneaster <i>Cotoneaster horizontalis</i>	1 & 2	5 gal.	Container, 5 canes minimum 12"-18" ht.
△ ±04	Big Tuna Mugo Pine <i>Pinus mugo 'Big Tuna'</i>	1 & 2	5 gal.	Container, Specimen Quality 18"-24" ht.
DECIDUOUS SHRUBS				
△ ±07	Amethyst Coralberry <i>Symphoricarpos x doorenbosii Amethyst</i>	1 & 2	5 gal.	Container, 5 canes minimum 12"-18" ht.
△ ±02	Alpine Currant <i>Ribes alpinum</i>	1 & 2	5 gal.	Container, 5 canes minimum 18"-24" ht.
△ ±01	Antelope Bitterbrush <i>Purshia tridentata</i>	1 & 2	5 gal.	Container, 5 canes minimum 12"-18" ht.
△ ±10	Arctic Fire Dogwood <i>Cornus sericea ARCTIC FIRE</i>	1 & 2	5 gal.	Container, 5 canes minimum 12"-18" ht.
△ ±08	Arnold's Red Honeysuckle <i>Lonicera tatarica 'Arnold's Red'</i>	1 & 2	5 gal.	Container, 5 canes minimum 24"-36" ht.
△ ±05	Bailey Compact Dwarf Amur Maple <i>Acer ginnala 'Bailey Compact'</i>	1 & 2	5 gal.	Container, 5 canes minimum 24"-36" ht.
△ ±0	Burkwood Daphne <i>Daphne burkwoodii 'Somerset'</i>	1 & 2	5 gal.	Container, 5 canes minimum 18"-24" ht.
△ ±0	Bog Brush <i>Betula glandulosa</i>	1 & 2	5 gal.	Container, 5 canes minimum 24"-36" ht.
△ ±03	Cheyenne Privet <i>Ligustrum vulgare 'Cheyenne'</i>	1 & 2	5 gal.	Container, 5 canes minimum 24"-36" ht.
△ ±03	Colorado Dogwood <i>Lonicera coloradense</i>	1 & 2	5 gal.	Container, 5 canes minimum 24"-36" ht.
△ ±06	Blizzard Mockorange <i>Philadelphus lewisii 'Blizzard'</i>	1 & 2	5 gal.	Container, 5 canes minimum 24"-36" ht.
△ ±09	Golden Currant <i>Ribes aureum</i>	1 & 2	5 gal.	Container, 5 canes minimum 24"-36" ht.
△ ±05	Dwarf Ninebark <i>Physocarpus opulifolius 'Dart's Gold'</i>	1 & 2	5 gal.	Container, 5 canes minimum 18"-24" ht.
△ ±03	Mountain Ninebark <i>Physocarpus monogynus</i>	1 & 2	5 gal.	Container, 5 canes minimum 12"-18" ht.
△ ±0	Heath <i>Erica carnea 'Springwood Pink'</i>	1 & 2	5 gal.	Container, 5 canes minimum 12"-18" ht.
△ ±0	Pawnee Buttes Sandcherry <i>Prunus pumila besseyi Pawnee Buttes</i>	1 & 2	5 gal.	Container, 5 canes minimum 24"-36" ht.
△ ±0	Rocky Mountain Maple <i>Acer glabrum</i>	1 & 2	5 gal.	Container, 5 canes minimum 36"-48" ht.
△ ±0	Rock Spirea <i>Holodiscus dumosus</i>	1 & 2	5 gal.	Container, 5 canes minimum 18"-24" ht.
△ ±0	Mountain Snowberry <i>Symphoricarpos oreophilus</i>	1 & 2	5 gal.	Container, 5 canes minimum 10"-12" ht.
△ ±0	Boulder Raspberry <i>Rubus deliciosus</i>	1 & 2	5 gal.	Container, 5 canes minimum 18"-24" ht.
△ ±03	Wax Flower <i>Jamesia americana</i>	1 & 2	5 gal.	Container, 5 canes minimum 24"-36" ht.



LANDSCAPE ARCHITECT:
TOMINA TOWNSEND, LA
PO BOX 3000, PMB 301
EDWARDS, CO 81632
P. 303.572.7876
TTownsend@ResortConceptsCO.com

CORDILLERA VALLEY CLUB
LOT 7
EAGLE COUNTY, COLORADO

DESIGNED: TT
DRAWN: TT
CHECKED: JT
DATE: July 12, 2021
REVISIONS:
PERMIT SET: 8.16.21
REVISED IRRIGATION NOTES: 10.18.21
REVISIONS BASED ON OWNER COMMENTS: 7.5.23

PERMIT SET

SHEET TITLE:
LANDSCAPE NOTES & DETAILS
SCALE: NOT TO SCALE
SHEET NUMBER:

L3

Subject: Re: POA Approval – Lot 7 Modifications
Date: Friday, July 21, 2023 at 12:30:52 PM Mountain Daylight Time
From: Kim Gill
To: Taylor Hermes, Heidi Troester, David Kochel
CC: Crystal Watson, Derrick Gerhardt, Jeff Townsend
Attachments: image001.png

Ok by me

From: Taylor Hermes <thermes@resortconceptsco.com>
Date: Friday, July 21, 2023 at 12:28 PM
To: Heidi Troester <heidift@comcast.net>, Kim Gill <kgill@sableholdings.com>, David Kochel <daviddkochel@gmail.com>
Cc: Crystal Watson <cwatson@resortconceptsco.com>, Derrick Gerhardt <dgerhardt@resortconceptsco.com>, Jeff Townsend <jtownsend@resortconceptsco.com>
Subject: POA Approval – Lot 7 Modifications

Hello all,

Please find the attached plans sufficient for the Club Residence's POA review of modifications to Lot 7. The homeowner would like to modify their exterior lighting to the attached dark-sky compliant fixture, as well as landscape modifications, including the addition of trees and a dog run.

With your approval, I can proceed with submitting to the DRB for their approval as well. If you have any questions or concerns, please don't hesitate to reach out.

Thank you,



Taylor Hermes

c: (512) 468-3012

o: (970) 926-1720

ResortConceptsCO.com

Subject: Re: POA Approval – Lot 7 Modifications

Date: Monday, July 24, 2023 at 10:43:18 AM Mountain Daylight Time

From: David Kochel

To: Taylor Hermes

CC: Heidi Troester, Kim Gill, Crystal Watson, Derrick Gerhardt, Jeff Townsend

Approved on my end.

On Jul 21, 2023, at 11:28 AM, Taylor Hermes <thermes@resortconceptsco.com> wrote:

Hello all,

Please find the attached plans sufficient for the Club Residence's POA review of modifications to Lot 7. The homeowner would like to modify their exterior lighting to the attached dark-sky compliant fixture, as well as landscape modifications, including the addition of trees and a dog run.

With your approval, I can proceed with submitting to the DRB for their approval as well. If you have any questions or concerns, please don't hesitate to reach out.

Thank you,

Taylor Hermes

c: (512) 468-3012

o: (970) 926-1720

ResortConceptsCO.com

<CVC Lot 7 - Ldscp Plan 7.19.23.pdf><ODB0027-18-L2.pdf>